

MEETING AGENDA
CITY OF MOUNTAIN BROOK
VILLAGE DESIGN REVIEW COMMITTEE
4/21/2021
PRE-MEETING: (ROOM A106) 7:30 A.M.
REGULAR MEETING: (ROOM A108) 8:00 A.M.
CITY HALL, 56 CHURCH STREET, MOUNTAIN BROOK, AL 35213

1. Approval of Agenda
2. Approval of Minutes: 3/17/2021, Regular Meeting
3. Approval of Minutes: 4/14/2021, Special Meeting
4. Case **V-21-09**: First Horizon – **100 Euclid Avenue**, New Item
5. Case **V-21-10**: First Horizon – **2824 Cahaba Road**, New Item
6. Case **V-21-11**: Evelyn’s – **2031 Cahaba Road**, New Item
7. Case **V-21-12**: Publix – **1000 Jemison Lane**, New Item
8. Case **V-21-13**: X4 Fitness – **900 Lane Parke Court**, New Item
9. Case **V-21-04**: Landlord building work from Ollie Irene through Slim’s Pizza – **65-75 Church Street**, Clean-Up Item
10. Case **V-21-07**: Circa Interiors & Antiques – **2820 Petticoat Lane**, Carryover
11. Next Meeting: 5/19/2021
12. Adjournment

V-21-09

Proposed new signage

The applicant is proposing new signage to replace the existing signage for the transition from Iberia Bank to First Horizon Bank. The proposed signage includes:

- Façade sign
- Door vinyl
- Directional sign
- Parking sign
- Drive thru vinyl

- **Project Data:**

NAME: First Horizon Bank

CURRENT ZONING: Local Business District

OWNER: First Horizon Bank

LOCATION: 100 Euclid Ave.



DESIGN REVIEW/ SIGN APPLICATION

City of Mountain Brook
 Building, Planning, & Sustainability
 56 Church St, Mountain Brook, AL 35213
 (205) 802-3830 ♦ Fax (205) 879-6913

Review by the Mountain Brook Village Design Review Committee is mandatory. Application and all supplemental documentation must be received no later than fourteen (14) business days prior to scheduled meeting to be placed on agenda. Applicants, owners, and/or tenants are strongly encouraged to appear before the Committee on behalf of their application.

1. Job Site Location:

Business Name: First Horizon

Address: 100 Euclid Ave

2. Property Owner:

Name: First Horizon

Email: 1

Phone: _____

3. Applicant:

Name: Scott Services

Mailing Address: 5636 Clifford Cir

City/State/Zip: Bham AL 35210

Phone: 205 853-0119

Email: diane@scottservices.com

Signature: DGuner

4. Contractor Information:

Company Name: Scott Services

Mailing Address: 5636 Clifford Cir

City/State/Zip: Bham AL 35210

Phone: 205-853-0119

Bus. License No: 202101302

(for the City of Mountain Brook)
 Print Name: Scott Electric Sign Co

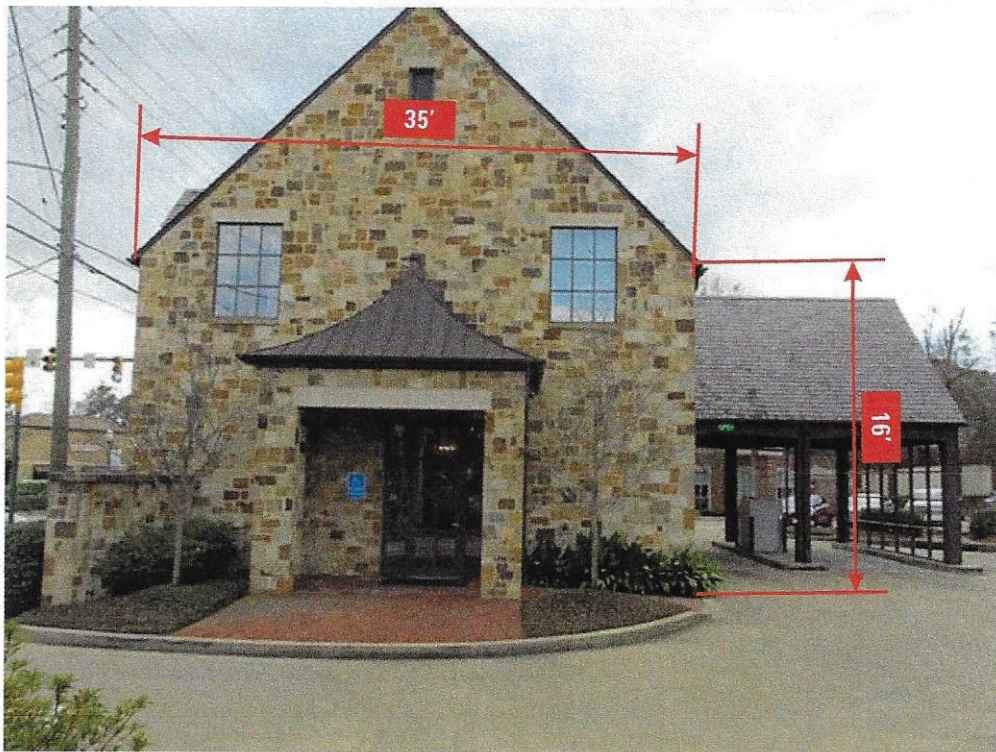
Email: diane@scottservices.com

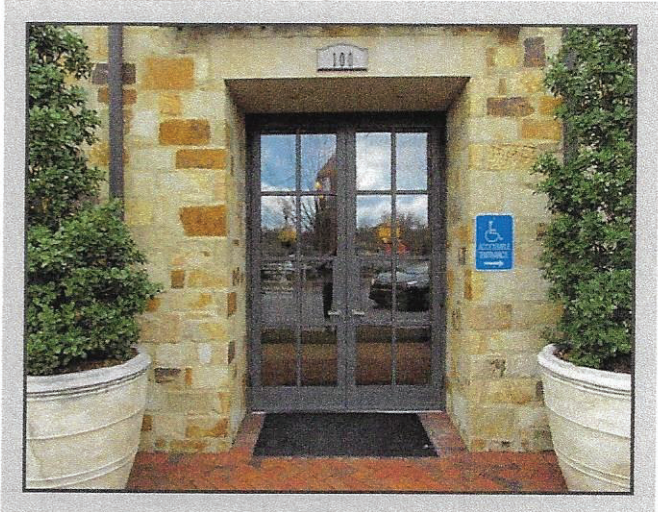
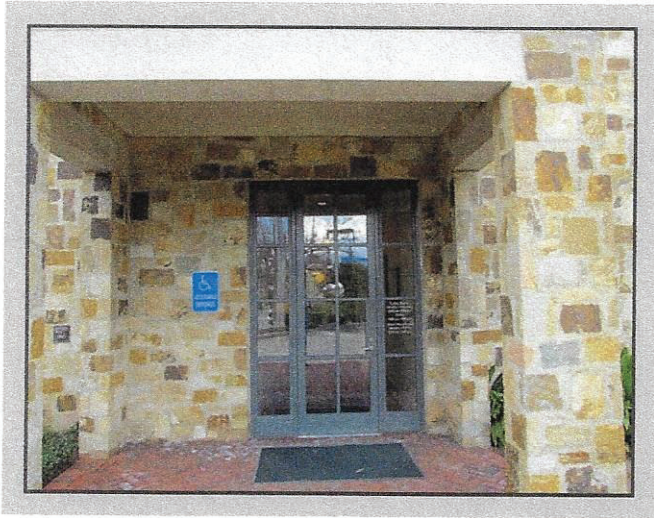
Office Use Only - Permits	
Permit No:	
Date Issued:	
Permitted Amount:	
Office Use Only - Design Review	
<input type="checkbox"/> Approved	
<input type="checkbox"/> Approved w/ Conditions	
<input type="checkbox"/> Denied	
Clerk:	
Date:	

Category of Construction		
<input type="checkbox"/> Awning	<input type="checkbox"/> Facade	<input type="checkbox"/> Window
<input type="checkbox"/> Ground	<input type="checkbox"/> Directory	<input type="checkbox"/> Roof
<input type="checkbox"/> Projecting	<input type="checkbox"/> Door	<input type="checkbox"/> Directional
Sign Information		
Job Description: <u>install E01 - wall sign</u> <u>install E02 - door vinyl</u> <u>install E03 - directional sign</u> <u>install E04 - parking sign</u> <u>install E07 - drive thru vinyl</u>		
Permit fees are based on the value of the work performed. Indicate the value (round to the nearest dollar) of all equipment, materials, labor, overhead, and the profit for the work indicated on this application. Valuation: \$ <u>2900.00</u>		
Number of Proposed Sign(s): <u>5</u>		
Existing Sign Information		
Please calculate the total square footage of all existing signs on site. Refer to our sign ordinance for categorical clarification.		
Square feet of Signs: <u>1122</u>		
Square feet of Incidental Signs: <u>807</u>		
Property Owner Signature		
This installation is being made on commercial property owned by me or a member of my immediate family. Signature: <u>DGuner</u>		
Is this property subject to a master sign plan, which has been approved by the Design Review Committee?		
<input type="checkbox"/> Yes		
<input type="checkbox"/> No		

Applications may be obtained online at www.mtnbrook.org/bc-vdrc.

BUILDING DIMENSIONS





EXISTING SIGNAGE



SCALE 3" = 1'-0"

CUSTOM DVFH (QTY-2)

OPAQUE VINYL HOURS AND DIGITALLY PRINTED LOGO FOR FIRST SURFACE APPLICATION



PANTONE 2388

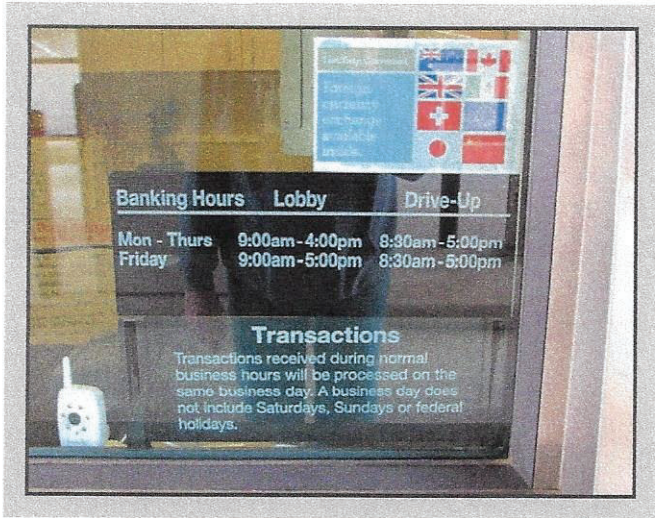


PANTONE BRIGHT RED

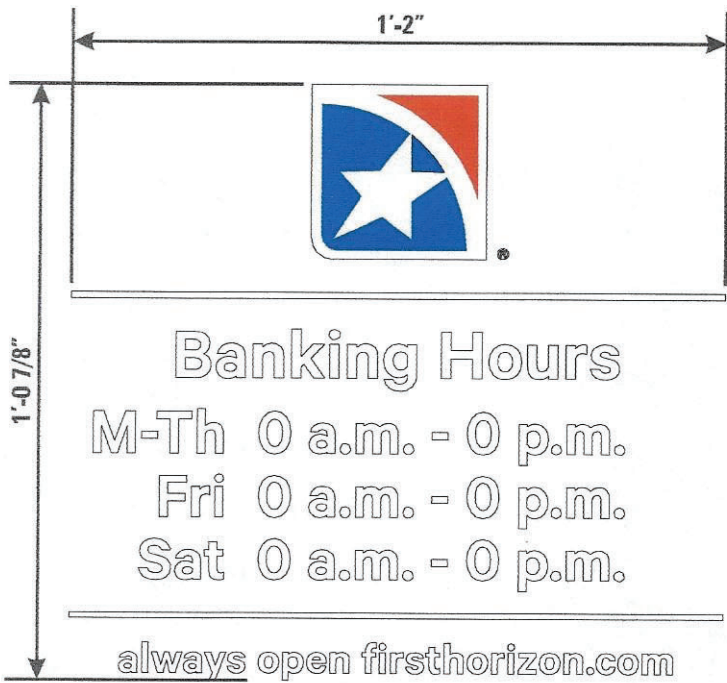


3M WHITE OPAQUE VINYL

SIGNAGE PROPOSAL



EXISTING SIGNAGE



SCALE 3" = 1'-0"

DTVFH (QTY-1)

OPAQUE VINYL HOURS AND DIGITALLY PRINTED LOGO FOR FIRST SURFACE APPLICATION



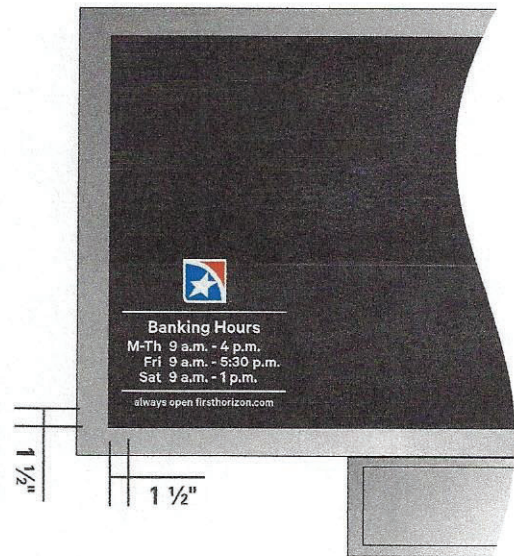
PANTONE 2388



PANTONE BRIGHT RED

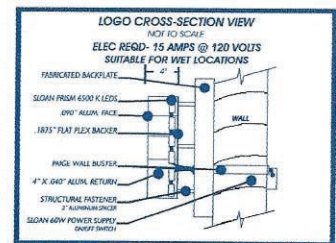
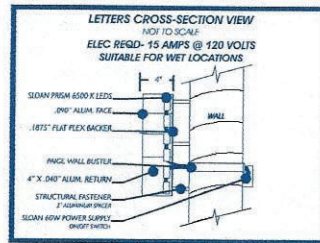
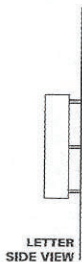
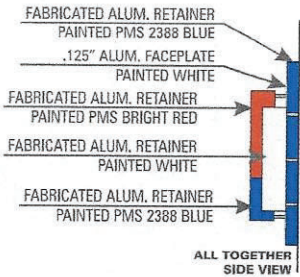
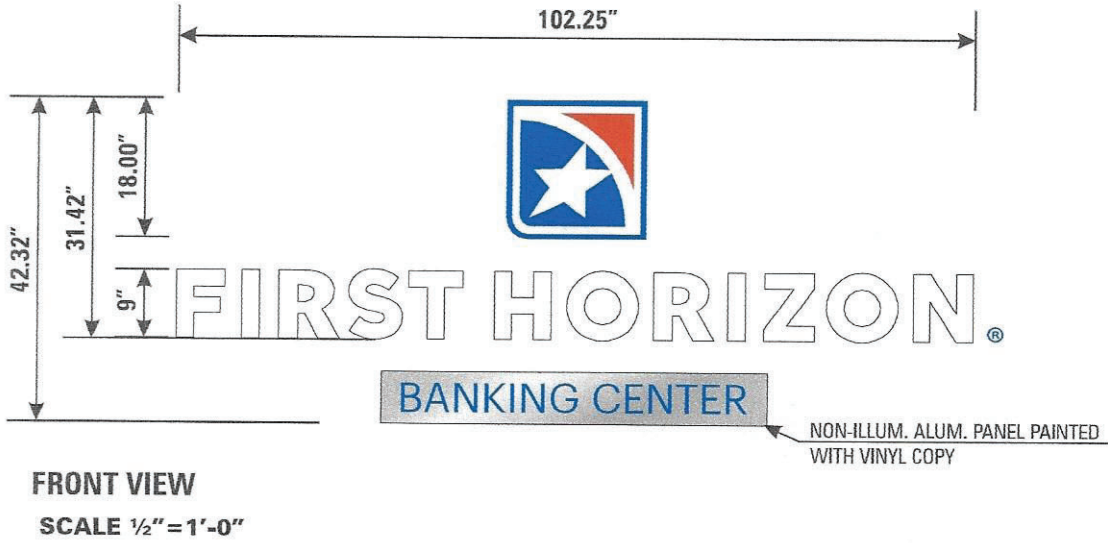


3M WHITE OPAQUE VINYL



SCALE 3/4" = 1'-0"

SURVEY OF AVAILABLE SPACE AND ACCESS BEHIND WALL REQUIRED BEFORE PRODUCTION.

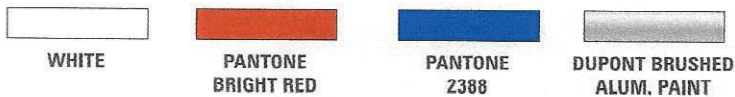


SQUARE FOOTAGE = 11.22'

CUSTOM REVERSE CHANNEL LOGO & LETTERS (QTY-1)

MANUFACTURE NEW REVERSE ILLUMINATED CHANNEL LOGO AND LETTERS TO REPLACE EXISTING SIGNAGE.

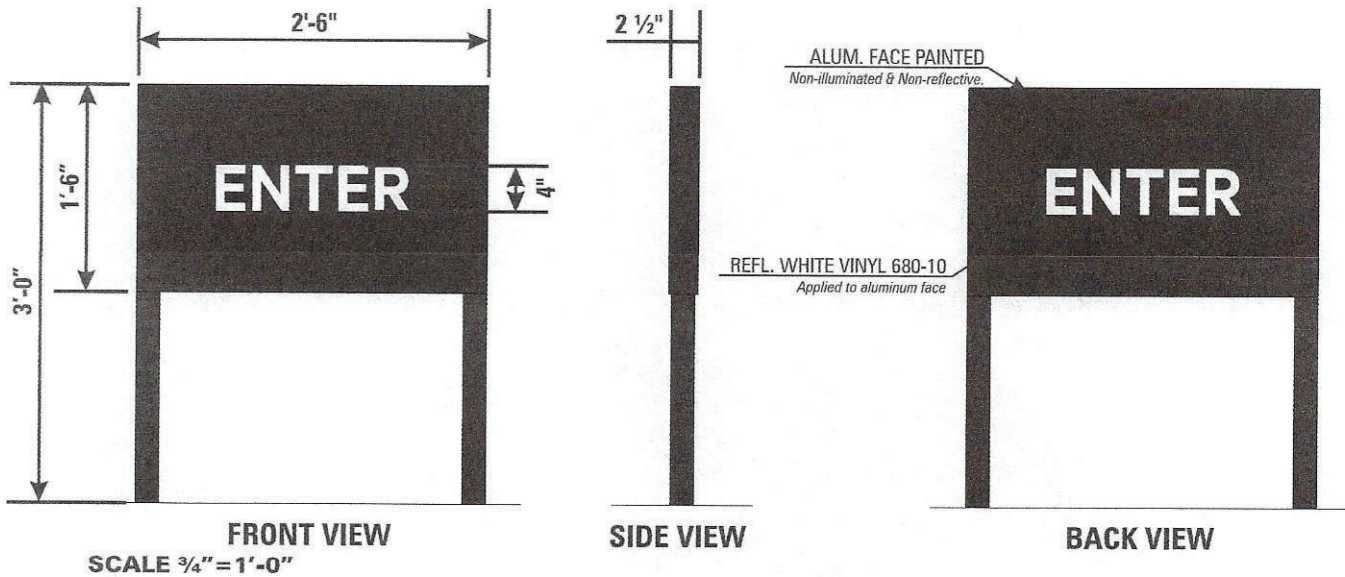
ALL PAINT FINISHES TO BE SATIN FINISH.



SIGNAGE PROPOSAL



EXISTING SIGNAGE



SQUARE FOOTAGE = 3.75'

DIR - 18 (QTY-1)

ALL PAINT FINISHES TO BE SATIN FINISH.


 3M WHITE REFLECTIVE
 VINYL 680-10


 DURANODIC
 BRONZE 313E



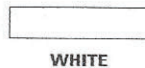
EXISTING SIGNAGE



SCALE 1 1/2" = 1'-0"

REGULATORY SIGNS (QTY-1)

ALUMINUM TRAFFIC SIGN WITH WHITE GRAPHICS
MOUNTED TO WOODEN FENCE.



V-21-10

Proposed new signage

The applicant is proposing new signage to replace the existing signage for the transition from Iberia Bank to First Horizon Bank. Proposed signage changes include:

- Façade sign
- Door vinyl
- Parking sign
- Drive thru vinyl

- **Project Data:**

NAME: First Horizon Bank

CURRENT ZONING: Local Business District

OWNER: First Horizon Bank

LOCATION: 2824 Cahaba Rd.



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1. Job Site Location:

Business Name: First Horizon
 Address: 2824 Cahaba Rd

2. Property Owner:

Name: First Horizon
 Email: _____
 Phone: _____

3. Applicant:

Name: Scott Services
 Mailing Address: 5636 Clifford Cir
 City/State/Zip: Bham AL 35210
 Phone: 205-853-0119
 Email: diane@scottservices.com
 Signature: [Signature]

4. Contractor Information:

Company Name: Scott Services
 Mailing Address: 5636 Clifford Cir
 City/State/Zip: Bham AL 35210
 Phone: 205 853 0119
 Bus. License No: _____
 (for the City of Mountain Brook)
 Print Name: _____
 Email: diane@scottservices.com

Office Use Only - Permits	
Permit No:	
Date Issued:	
Permitted Amount:	
Office Use Only - Design Review	
<input type="checkbox"/> Approved	
<input type="checkbox"/> Approved w/ Conditions	
<input type="checkbox"/> Denied	
Clerk:	
Date:	

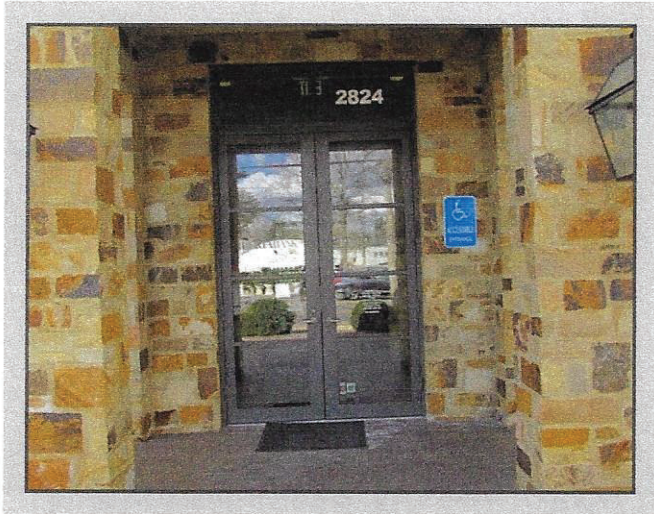
Category of Construction		
<input type="checkbox"/> Awning	<input type="checkbox"/> Facade	<input type="checkbox"/> Window
<input type="checkbox"/> Ground	<input type="checkbox"/> Directory	<input type="checkbox"/> Roof
<input type="checkbox"/> Projecting	<input type="checkbox"/> Door	<input type="checkbox"/> Directional
Sign Information		
Job Description:		
Permit fees are based on the value of the work performed. Indicate the value (round to the nearest dollar) of all equipment, materials, labor, overhead, and the profit for the work indicated on this application. Valuation: \$ <u>3500.00</u>		
Number of Proposed Sign(s): <u>6</u>		
Existing Sign Information		
Please calculate the total square footage of all existing signs on site. Refer to our sign ordinance for categorical clarification.		
Square feet of Signs: <u>2797</u>		
Square feet of Incidental Signs: <u>5.2</u>		
Property Owner Signature		
This installation is being made on commercial property owned by me or a member of my immediate family.		
Signature: <u>[Signature]</u>		
Is this property subject to a master sign plan, which has been approved by the Design Review Committee?		
<input type="checkbox"/> Yes		
<input type="checkbox"/> No		

Applications may be obtained online at www.mtnbrook.org/bc-vdrc.

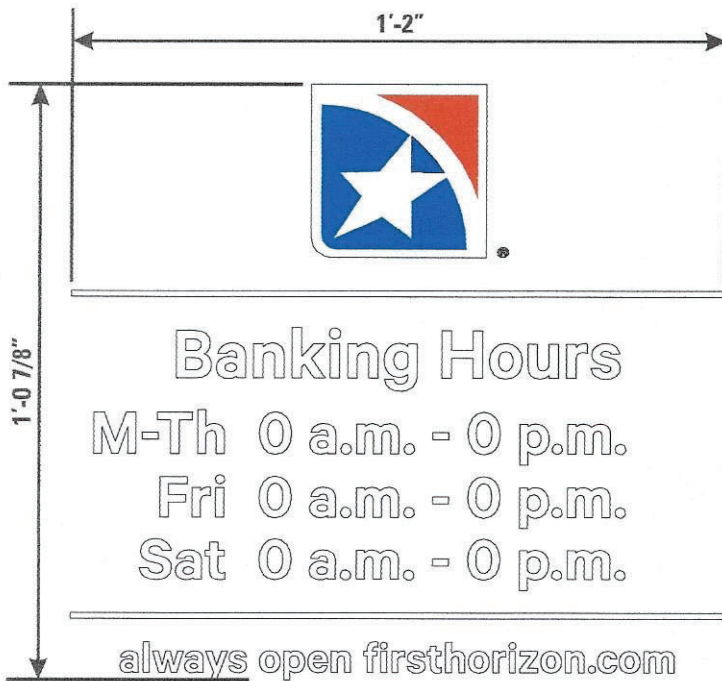
BUILDING DIMENSIONS



SIGNAGE PROPOSAL



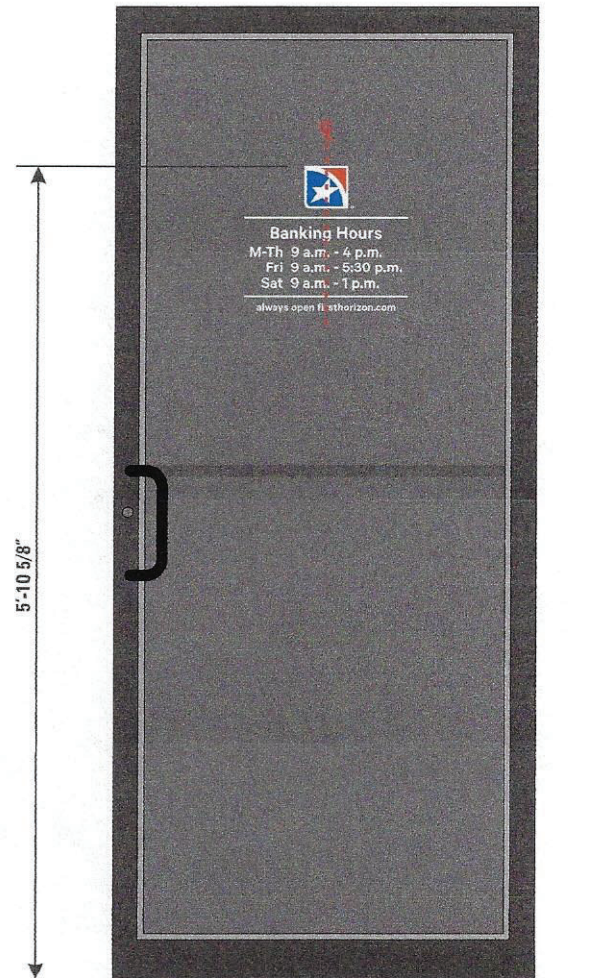
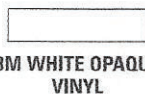
EXISTING SIGNAGE



SCALE 3" = 1'-0"

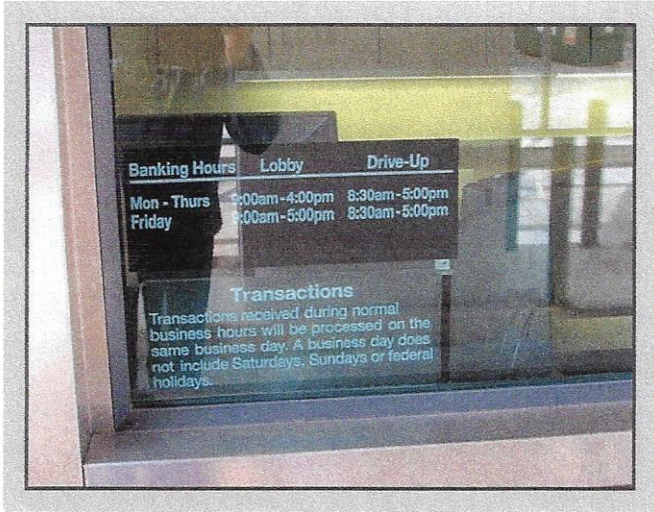
DVFH (QTY-1)

OPAQUE VINYL HOURS AND DIGITALLY PRINTED LOGO FOR FIRST SURFACE APPLICATION

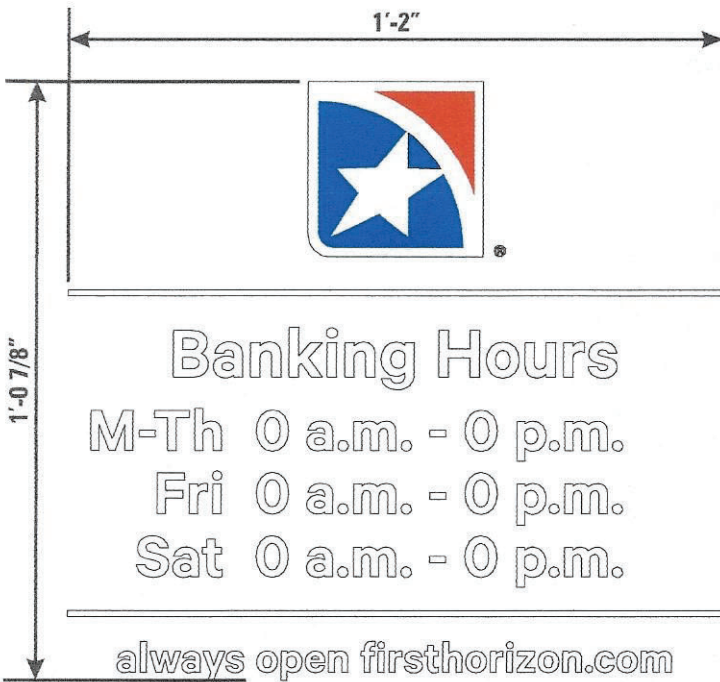


SCALE 3/4" = 1'-0"

SIGNAGE PROPOSAL



EXISTING SIGNAGE



SCALE 3" = 1'-0"

DTVFH (QTY-1)

OPAQUE VINYL HOURS AND DIGITALLY PRINTED LOGO FOR FIRST SURFACE APPLICATION



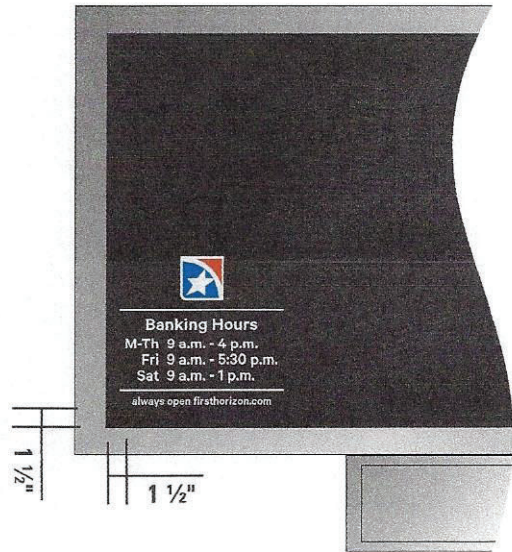
PANTONE 2388



PANTONE BRIGHT RED



3M WHITE OPAQUE VINYL

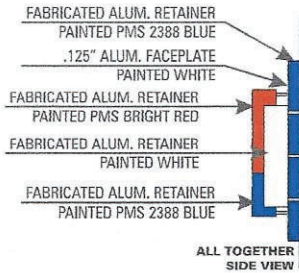


SCALE 3/4" = 1'-0"

SURVEY OF AVAILABLE SPACE AND ACCESS BEHIND WALL REQUIRED BEFORE PRODUCTION.



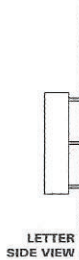
FRONT VIEW
SCALE 1/2" = 1'-0"



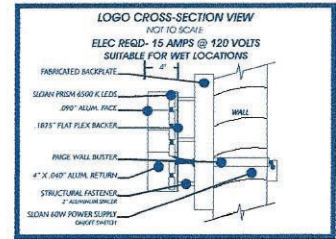
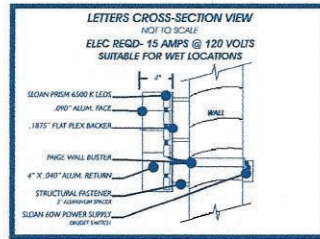
ALL TOGETHER SIDE VIEW



LOGO SIDE VIEW



LETTER SIDE VIEW

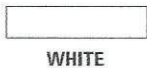


SQUARE FOOTAGE = 11.22'

CUSTOM REVERSE CHANNEL LOGO & LETTERS (QTY-1)

MANUFACTURE NEW REVERSE ILLUMINATED CHANNEL LOGO AND LETTERS TO REPLACE EXISTING SIGNAGE.

ALL PAINT FINISHES TO BE SATIN FINISH.



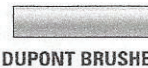
WHITE



PANTONE BRIGHT RED

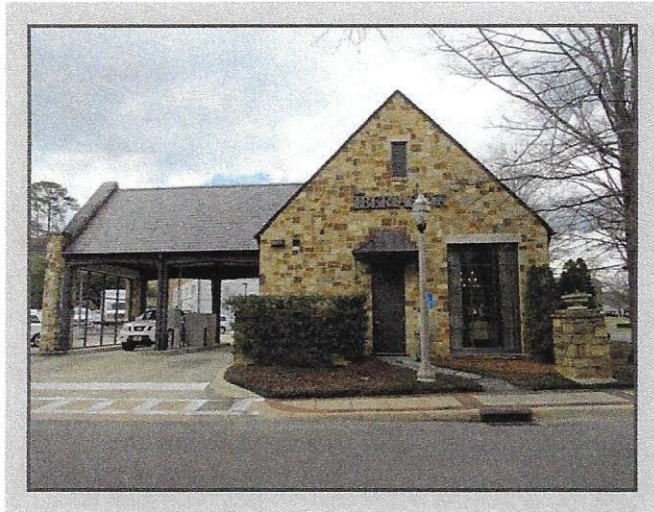


PANTONE 2388



DUPONT BRUSHED ALUM. PAINT

SIGNAGE PROPOSAL

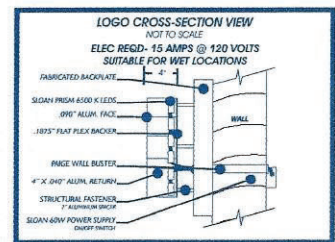
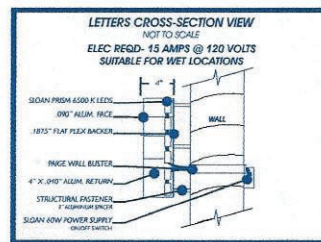
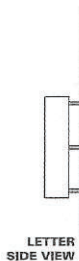
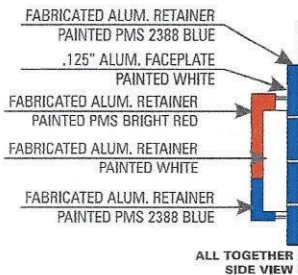


EXISTING SIGNAGE



PROPOSED SIGNAGE

SURVEY FOR ACCESS BEHIND WALL REQUIRED BEFORE PRODUCTION.

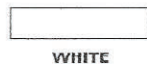


SQUARE FOOTAGE = 16.75'

CUSTOM REVERSE CHANNEL LOGO & LETTERS (QTY-1)

MANUFACTURE NEW REVERSE ILLUMINATED CHANNEL LOGO AND LETTERS TO REPLACE EXISTING SIGNAGE.

ALL PAINT FINISHES TO BE SATIN FINISH.



SIGNAGE PROPOSAL



EXISTING SIGNAGE



REGULATORY SIGNS (QTY-1)
 ALUMINUM TRAFFIC SIGN WITH WHITE GRAPHICS
 MOUNTED TO NEW 2" SQUARE TUBING PAINTED BRONZE.



V-21-11

Proposed new signage

The applicant is proposing new signage to replace the existing signage for the transition from Bobby Carl's Table to Evelyn's. The changes include changing the existing projecting sign and window signage.

- **Project Data:**

NAME: Evelyn's

CURRENT ZONING: MXD

OWNER: RH Properties

LOCATION: 2031 Cahaba Rd.



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1. Job Site Location: Change Bobby Carls Table to Evelyn's
Business Name: Evelyn's

Address: 2031 Cahaba Rd. Ste. A

2. Property Owner: (Leased by:)
Name: R/A Properties
Email: evan@kh-mgmt.com
Phone: 205-540-0102

3. Applicant:
Name: Christie Lowe
Mailing Address: 2031 Cahaba Rd
City/State/Zip: MB 35223
Phone: 205 901 5411
Email: christie@bobbycarlstable.com
Signature: [Handwritten Signature]

4. Contractor Information:
Company Name:
Mailing Address:
City/State/Zip:
Phone:
Bus. License No:
(for the City of Mountain Brook)
Print Name:
Email:

Office Use Only - Permits
Permit No:
Date Issued:
Permitted Amount:
Office Use Only - Design Review
[] Approved
[] Approved w/ Conditions
[] Denied
Clerk:
Date:

Category of Construction
[] Awning [] Facade [x] Window
[] Ground [] Directory [] Roof Decal
[x] Projecting [] Door [] Directional

Sign Information
Job Description:
-> street sign
we're changing names

Permit fees are based on the value of the work performed. Indicate the value (round to the nearest dollar) of all equipment, materials, labor, overhead, and the profit for the work indicated on this application.
Valuation: \$

Number of Proposed Sign(s):
Existing Sign Information
Please calculate the total square footage of all existing signs on site. Refer to our sign ordinance for categorical clarification.

Square feet of Signs:
Square feet of Incidental Signs:

Property Owner Signature
This installation is being made on commercial property owned by me or a member of my immediate family.
Signature:

Is this property subject to a master sign plan, which has been approved by the Design Review Committee?
[] Yes
[] No

Applications may be obtained online at www.mtnbrook.org/bc-vdrc.



Bobby Carl's

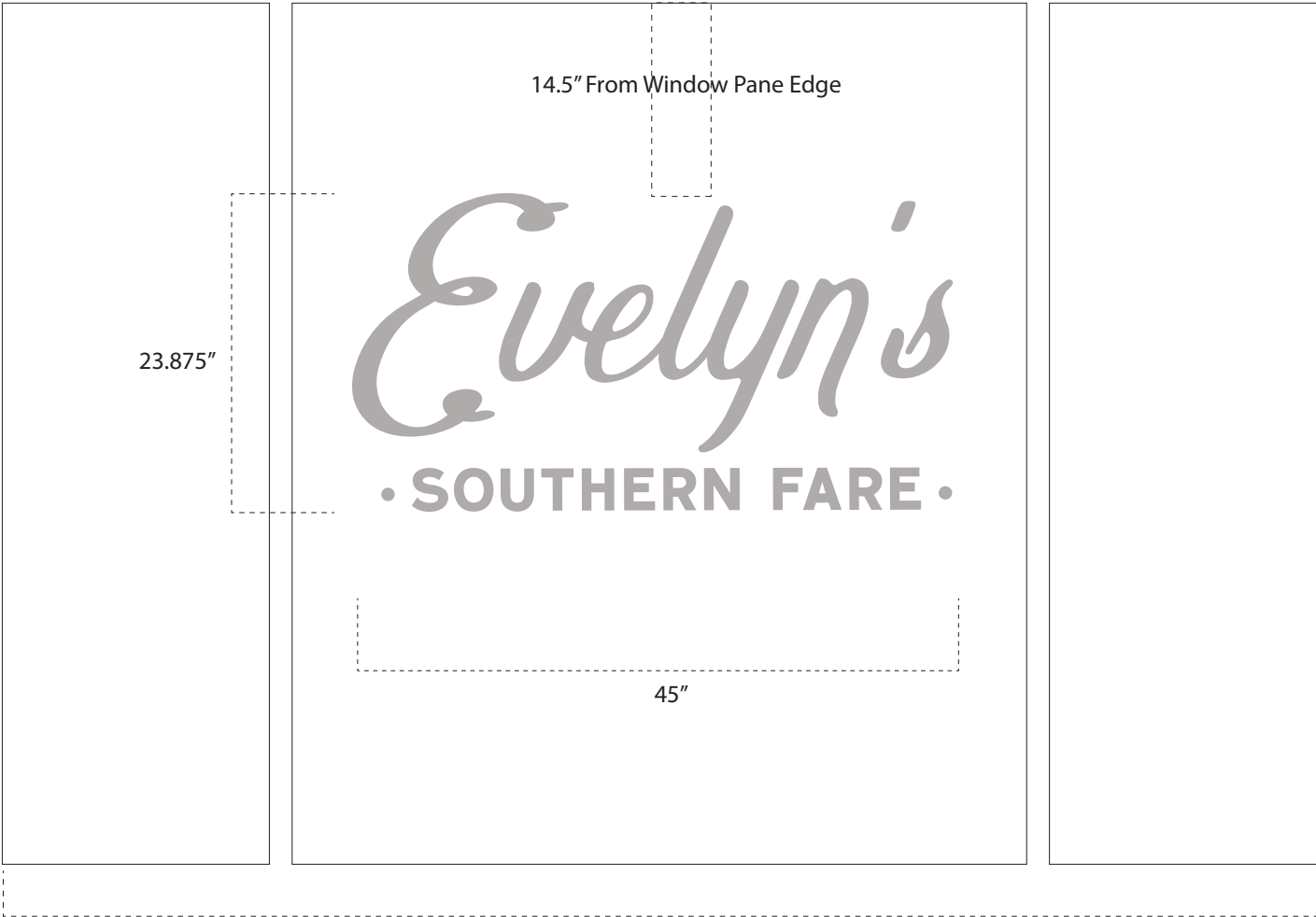
ESTD **TABLE** 2019

*Bobby
Carl's*

ESTD **TABLE** 2019

→ ENTRANCE AROUND THE CORNER

SANDBLASTED EFFECT VINYL
INTERIOR INSTALLATION



Evelyn's
• SOUTHERN FARE •

Evelyn's

• SOUTHERN FARE •

V-21-12

Proposed new signage

The applicant is proposing new signage for Greenwise Market. The signage change includes adding a “P” logo to the signs. The externally illuminated signs will be in the same location and same size as the existing signage.

- **Project Data:**

NAME: Publix

CURRENT ZONING: PUD

OWNER: RH Properties

LOCATION: 1000 Jemison Lane



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1. Job Site Location:

Business Name: Publix
 Address: 1000 Jemison Lane, Mountain Brook, AL 35223

2. Property Owner:

Name: Lane Parke Retail, LLC
 Email: _____
 Phone: _____

3. Applicant:

Name: Jill Hopkins of Anchor Sign, Inc.
 Mailing Address: 2200 Discher Avenue
 City/State/Zip: Charleston, SC 29405
 Phone: 843-576-3241
 Email: jhopkins@anchorsign.com
 Signature: _____

4. Contractor Information:

Company Name: Anchor Sign, Inc.
 Mailing Address: 2200 Discher Avenue
 City/State/Zip: Charleston, SC 29405
 Phone: 843-576-3241
 Bus. License No: Applied for
(for the City of Mountain Brook)
 Print Name: Jill Hopkins
 Email: jhopkins@anchorsign.com

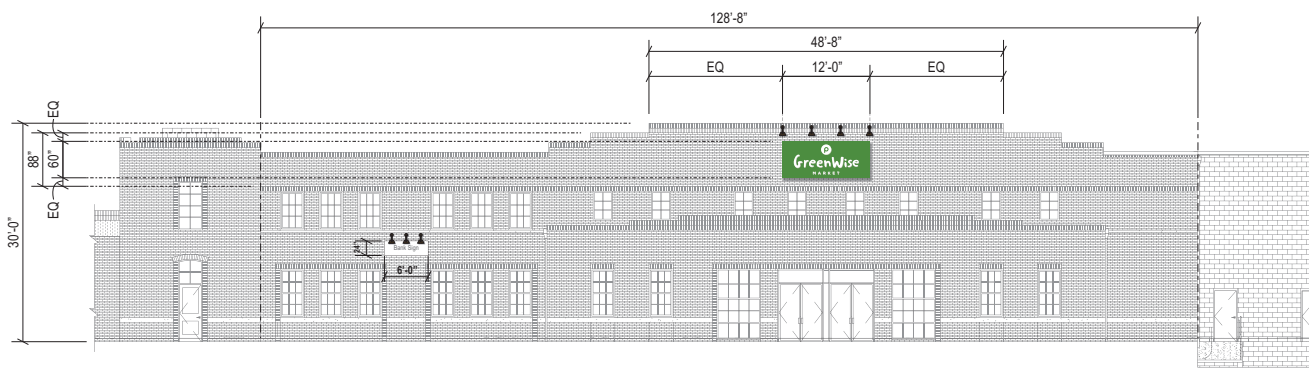
Office Use Only - Permits	
Permit No:	
Date Issued:	
Permitted Amount:	
Office Use Only - Design Review	
<input type="checkbox"/> Approved	
<input type="checkbox"/> Approved w/ Conditions	
<input type="checkbox"/> Denied	
Clerk:	
Date:	

Category of Construction		
<input type="checkbox"/> Awning	<input checked="" type="checkbox"/> Facade	<input type="checkbox"/> Window
<input type="checkbox"/> Ground	<input type="checkbox"/> Directory	<input type="checkbox"/> Roof
<input type="checkbox"/> Projecting	<input type="checkbox"/> Door	<input type="checkbox"/> Directional
Sign Information		
Job Description: Install (1) set 60 sq.ft. Greenwise Market externally illuminated wall sign on the Front East elevation and (1) set 17 sq.ft. Greenwise Market externally illuminated wall sign on the Left South elevation.		
Permit fees are based on the value of the work performed. Indicate the value (round to the nearest dollar) of all equipment, materials, labor, overhead, and the profit for the work indicated on this application. Valuation: \$ 3,432.00		
Number of Proposed Sign(s): (2)		
Existing Sign Information		
Please calculate the total square footage of all existing signs on site. Refer to our sign ordinance for categorical clarification.		
Square feet of Signs: N/A		
Square feet of Incidental Signs: N/A		
Property Owner Signature		
This installation is being made on commercial property owned by me or a member of my immediate family. Signature: _____		
Is this property subject to a master sign plan, which has been approved by the Design Review Committee?		
<input type="checkbox"/> Yes		
<input checked="" type="checkbox"/> No		


Applications may be obtained online at www.mtnbrook.org. Look under Departments > Planning > Helpful Links. Please fill out all information below.

V-21-12

SIGN A	Greenwise
Type:	Routed Acrylic Letters on a Backer Panel
Illumination:	Externally Illuminated [Goosenecks]
Square Footage:	60.00
To Grade:	Top of Sign To Grade = 27'-6" Bottom of Sign To Grade = 22'-6"

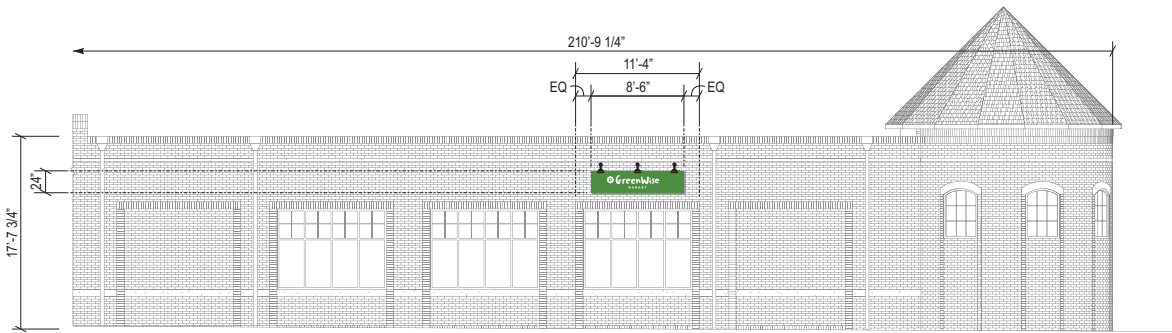


Front Elevation (East)
Scale: 1/16" = 1'-0"

	Client: Publix	REVISION INFO	03/25/2021	Original Rendering	SD	<small>This rendering is the property of Anchor Sign, Inc. It is for the exclusive use of Anchor Sign, Inc. and the party which requested the rendering. It is an unpublished original drawing not to be distributed, reproduced or exhibited without the consent of Anchor Sign, Inc. Please contact your account manager with questions regarding this statement.</small>
	Site #: PU-1676					
	Address: 1000 Jemison Lane					
	Mountain Brook, AL 35223					


1.800.213.3331

SIGN B	Greenwise
Type:	New Routed Acrylic Logo on Existing Sign
Illumination:	Externally Illuminated [Goosenecks]
Square Footage:	17.00
To Grade:	Top of Sign To Grade = 14'-5 3/4" Bottom of Sign To Grade = 12'-5 3/4"



Left Elevation (South)
Scale: 3/32" = 1'-0"



Client: Publix
 Site #: PU-1676
 Address: 1000 Jernison Lane
 Mountain Brook, AL 35223

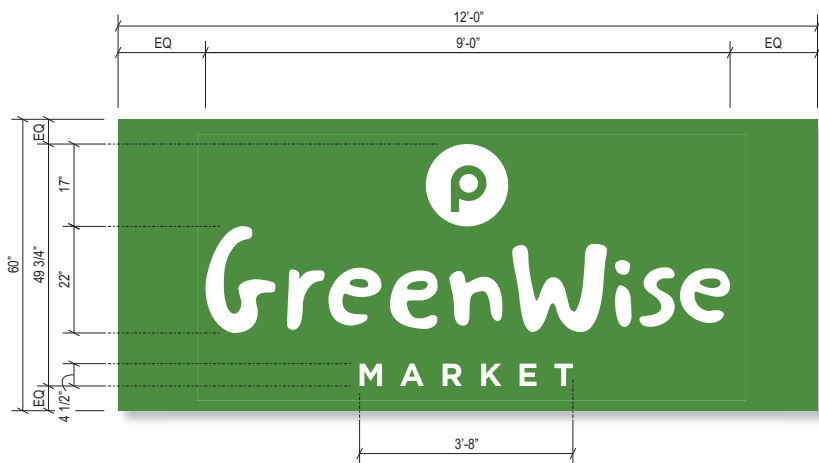
REVISION INFO	DATE	DESCRIPTION	BY
	03/25/2021	Original Rendering	SD

This rendering is the property of Anchor Sign, Inc. It is for the exclusive use of Anchor Sign, Inc. and the party which requested the rendering. It is an unpublished original drawing not to be distributed, reproduced or exhibited without the consent of Anchor Sign, Inc. Please contact your account manager with questions regarding this statement.



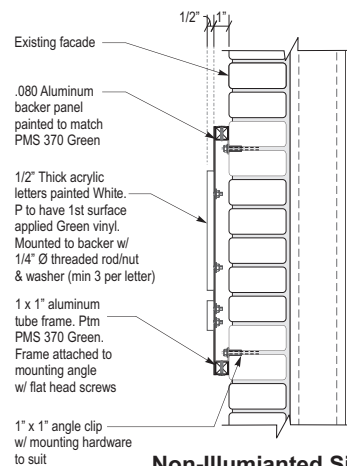
V-21-12

SIGN A	Greenwise
Type:	Routed Acrylic Letters on a Backer Panel
Illumination:	Externally Illuminated [Goosenecks]
Square Footage:	60.00
To Grade:	Top of Sign To Grade = 27'-6" Bottom of Sign To Grade = 22'-6"



Sign Layout Detail

Scale: 1/2" = 1'-0"



Non-Illuminated Sign

Scale: N.T.S.

Publix

Client: Publix
 Site #: PU-1676
 Address: 1000 Jemison Lane
 Mountain Brook, AL 35223

REVISION INFO	03/25/2021	Original Rendering	SD

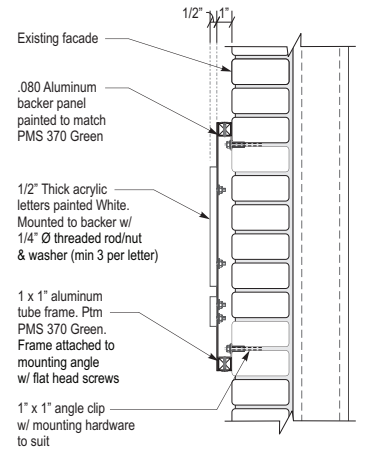
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AnchorSign
 1.800.213.3331

SIGN B	Greenwise
Type:	New Routed Acrylic Logo on Existing Sign
Illumination:	Externally Illuminated [Goosenecks]
Square Footage:	17.00
To Grade:	Top of Sign To Grade = 14'-5 3/4" Bottom of Sign To Grade = 12'-5 3/4"



Sign Layout Detail
Scale: 1" = 1'-0"



Non-Illuminated Sign
Scale: N.T.S.

	Client: Publix	REVISION INFO	03/25/2021	Original Rendering	SD	This rendering is the property of Anchor Sign, Inc. It is for the exclusive use of Anchor Sign, Inc. and the party which requested the rendering. It is an unpublished original drawing not to be distributed, reproduced or exhibited without the consent of Anchor Sign, Inc. Please contact your account manager with questions regarding this statement.
	Site #: PU-1676					
Address: 1000 Jemison Lane						 1.800.213.3331
Mountain Brook, AL 35223						

V-21-13

Proposed new painted brick color

The applicant is proposing to repaint the existing painted brick exterior. The new painted brick color would be “Delicate White”.

- **Project Data:**

NAME: X4 Fitness

CURRENT ZONING: PUD

OWNER: John Evans

LOCATION: 900 Lane Parke Court



DESIGN REVIEW/ SIGN APPLICATION

City of Mountain Brook
 Building, Planning, & Sustainability
 56 Church St, Mountain Brook, AL 35213
 (205) 802-3830 ♦ Fax (205) 879-6913

Review by the Mountain Brook Village Design Review Committee is mandatory. Application and all supplemental documentation must be received no later than fourteen (14) business days prior to scheduled meeting to be placed on agenda. Applicants, owners, and/or tenants are strongly encouraged to appear before the Committee on behalf of their application.

1. Job Site Location:

Business Name: X4 Fitness
 Address: 900 Lane Parke Court

2. Property Owner:

Name: John Evans
 Email: john@evsoninc.com
 Phone: 205-960-4428

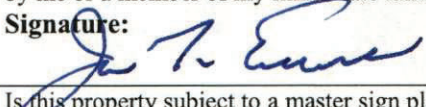
3. Applicant:

Name: X4 Fitness
 Mailing Address: 900 Lane Parke Court
 City/State/Zip: Mountain Brook, AL 35223
 Phone: 561-289-1571
 Email: greg@bobocorpinvestments.com
 Signature: _____

4. Contractor Information:

Company Name: Hallmark Construction
 Mailing Address: _____
 City/State/Zip: _____
 Phone: _____
 Bus. License No: _____
 (for the City of Mountain Brook)
 Print Name: _____
 Email: _____

Office Use Only - Permits	
Permit No:	_____
Date Issued:	_____
Permitted Amount:	_____
Office Use Only - Design Review	
<input type="checkbox"/> Approved	_____
<input type="checkbox"/> Approved w/ Conditions	_____
<input type="checkbox"/> Denied	_____
Clerk:	_____
Date:	_____

Category of Construction		
<input type="checkbox"/> Awning	<input type="checkbox"/> Facade	<input type="checkbox"/> Window
<input type="checkbox"/> Ground	<input type="checkbox"/> Directory	<input type="checkbox"/> Roof
<input type="checkbox"/> Projecting	<input type="checkbox"/> Door	<input type="checkbox"/> Directional
Sign Information		
Job Description: Repainting of the exterior of the building. PPG Delicate White - PPG1001-1 would be our default for this		
Permit fees are based on the value of the work performed. Indicate the value (round to the nearest dollar) of all equipment, materials, labor, overhead, and the profit for the work indicated on this application. Valuation: \$ _____		
Number of Proposed Sign(s): _____		
Existing Sign Information		
Please calculate the total square footage of all existing signs on site. Refer to our sign ordinance for categorical clarification.		
Square feet of Signs: _____		
Square feet of Incidental Signs: _____		
Property Owner Signature		
This installation is being made on commercial property owned by me or a member of my immediate family. Signature: 		
Is this property subject to a master sign plan, which has been approved by the Design Review Committee?		
<input checked="" type="checkbox"/> Yes		
<input type="checkbox"/> No		

Applications may be obtained online at www.mtnbrook.org/bc-vdrc.

V-21-13

EXISTING



V-21-13

PAINT - BRICK ONLY



V-21-13

PAINT - BRICK + CAST STONE



V-21-04

Proposed new awning and exterior improvements

The applicant is proposing improvements to the existing awning along Church St. on the block from Ollie Irene to the site of the former Vogue Cleaners. The proposed changes include:

- Removing existing roofline
- Replacing with flat metal canopy
- Canopy and soffit proposed to be painted “Morning Fog” gray

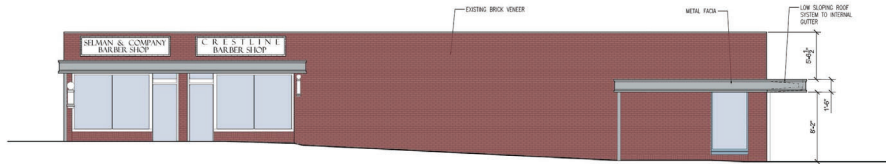
- **Project Data:**

NAME: Church Street Awning

CURRENT ZONING: Local Business District

OWNER: JH Berry, Dennes Sanders

LOCATION: 65-75 Church Street



1 New Elevation-West
SCALE: 3/16" = 1'-0"



Metal Canopy Color



2 New Elevation-South
SCALE: 3/16" = 1'-0"



HardieSoffit Panel



3 New Elevation-East
SCALE: 3/16" = 1'-0"

ROB WALKER ARCHITECTS, LLC
 2229 FIRST AVE. SOUTH
 Suite
 BIRMINGHAM, ALABAMA
 35233
 T-205.254.3212
 F-205.254.3269

REV	DATE

Church St
 75 Church St, Mountain Brook

Schematic Design

PROJECT NO.: 8157.00
 ISSUED: 04/20/2021

EXTERIOR ELEVATIONS

A2.0

V-21-04

Proposed new awning and exterior improvements

The applicant is proposing improvements to the existing awning along Church St. on the block from Ollie Irene to the site of the former Vogue Cleaners. The proposed changes include:

- Replacing damaged soffit with hardie soffit panels
- Paint soffit underside and gutters
- New asphalt shingles
- New aluminum standing seam roof
- Remove metal covers to expose brick columns
- Install new can lights on either side of tenant space doors (adjustable LED 3000k)

The applicant expressed openness to the possibility of removing the gables on the awning roof as well.

- **Project Data:**

NAME: Church Street Awning

CURRENT ZONING: Local Business District

OWNER: JH Berry, Dennes Sanders

LOCATION: 65-75 Church Street



DESIGN REVIEW/ SIGN APPLICATION

City of Mountain Brook
Building, Planning, & Sustainability
56 Church St, Mountain Brook, AL 35213
(205) 802-3830 ♦ Fax (205) 879-6913

Review by the Mountain Brook Village Design Review Committee is mandatory. Application and all supplemental documentation must be received no later than fourteen (14) business days prior to scheduled meeting to be placed on agenda. Applicants, owners, and/or tenants are strongly encouraged to appear before the Committee on behalf of their application.

1. Job Site Location:

Business Name: Landlord building work for Ollie & Irene Through Vogue Cleaners

Address: 65-75 Church Street

2. Property Owner:

Name: JH Berry, Dennis Sanders

Email: dsanders@jhberry.com

Phone: 205-313-4352

3. Applicant:

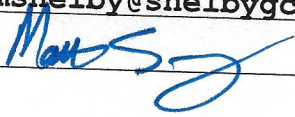
Name: Matt Shelby

Mailing Address: 3120 4th Ave. South

City/State/Zip: Birmingham, Al. 35233

Phone: 205-515-0953

Email: mshelby@shelbygc.com

Signature: 

4. Contractor Information:

Company Name: Shelby Company LLC,

Mailing Address: 3120 4th Ave. South

City/State/Zip: Birmingham, Al. 35233

Phone: 205-515-0953

Bus. License No: _____

(for the City of Mountain Brook)

Print Name: Matt Shelby

Email: mshelby@shelbygc.com

Office Use Only - Permits

Permit No: _____

Date Issued: _____

Permitted Amount: _____

Office Use Only - Design Review

Approved

Approved w/ Conditions

Denied

Clerk: _____

Date: _____

Category of Construction

Awning

Facade

Window

Ground

Directory

Roof

Projecting

Door

Directional

Sign Information

Job Description: _____

Permit fees are based on the value of the work performed. Indicate the value (round to the nearest dollar) of all equipment, materials, labor, overhead, and the profit for the work indicated on this application.

Valuation: \$ 57,600.00

Number of Proposed Sign(s): _____

Existing Sign Information

Please calculate the total square footage of all existing signs on site. Refer to our sign ordinance for categorical clarification.

Square feet of Signs: _____

Square feet of Incidental Signs: _____

Property Owner Signature

This installation is being made on commercial property owned by me or a member of my immediate family.

Signature: _____

Is this property subject to a master sign plan, which has been approved by the Design Review Committee?

Yes

No

Applications may be obtained online at www.mtnbrook.org/bc-vdrc.

INSTALL TWO NEW CAN LIGHTS EVENLY
SPACED ON EITHER SIDE OF DOOR FOR EACH TENANT
LITHONIA, WF4 ADJ WAFER, BRONZE FINISH, 4" TILT ADJUSTABLE LED, 3000K



REMOVE METAL COVERS
TO EXPOSE BRICK COLUMNS

PRICE NEW ASPHALT SHINGLES AND ALUMINUM STANDING SEAM ROOF IN BRONZE,
SHINGLE SPEC: TAMCO, HERITAGE, COLOR: TBD FROM SAMPLES



PAINT SOFFIT UNDERSIDE AND
GUTTERS SHERWIN WILLIAMS,
ANONYMOUS SW 7046

REPLACE DAMAGED SOFFIT
PANEL WITH HARDIE SOFFIT PANELS,
BEADED PORCH PANEL, PAINT SW 7046
MITER CUT AND ALIGN AT CORNERS

CRESTLINE EXTERIOR FAÇADE UPDATES

HSI ASSUMES NO LIABILITY FOR INSTALLATION OF THESE
MATERIALS OR THEIR ABILITY TO WATERPROOF THE BUILDING



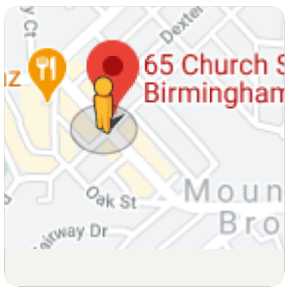


Image capture: Mar 2019 © 2021 Google

Mountain Brook, Alabama



Street View



No Gables

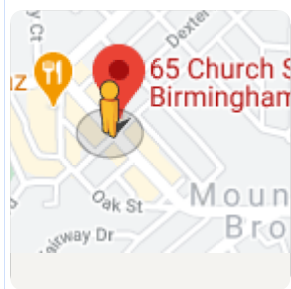


Image capture: Mar 2019 © 2021 Google

Mountain Brook, Alabama



Street View



V-21-07

Proposed new exterior improvements

The applicant is proposing to add a new façade in front of the existing building front to include:

- New steel and glass windows
- Bronze signage plaque
- New Bessemer gray brick color
- Gas lantern by door
- Proposed painted steel color- “White Chocolate”

- **Project Data:**

NAME: Circa Interiors & Antiques

CURRENT ZONING: Local Business District

OWNER: Tom Morrow

LOCATION: 2820 Petticoat Lane

PRELIMINARY ESTIMATING DRAWINGS

Sheet Index	
Number	Name
ME0	Center Stage R. Inlets
ME1	Basement Level Floor Plan
ME2	Main Level Floor Plan
ME3	Main Level Floor Plan
ME4	Main Level Floor Plan
ME5	Main Level Floor Plan
ME6	Roof Plan
ME7	Pool Deck Elevation
ME8	Pool Deck Elevation

a new location for
CIRCA
Petticoat Lane
Mountain Brook, Alabama

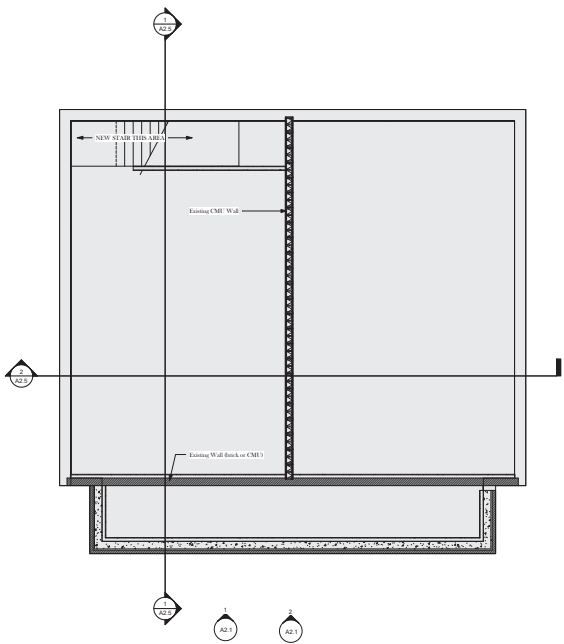
PRELIMINARY
ESTIMATING
DRAWINGS
02.16.2021



wall type legend

	existing wall to remain
	concrete or cinder wall
	2 x 6 wood stud wall
	2 x 4 wood stud wall
	2x wood stud framing
	new brick veneer
	finish above opening
	OR, demo on demo plans

GENERAL DIMENSION NOTES:
 1. All exterior wood framed walls, dimensions are from outside face of stud to outside of finish partition. On exterior masonry walls, dimensions are from face of masonry to outside of finish partition.
 2. Dimensions for windows and doors are to the center of the opening in plan view. Window placement location are as dimensioned on elevations.



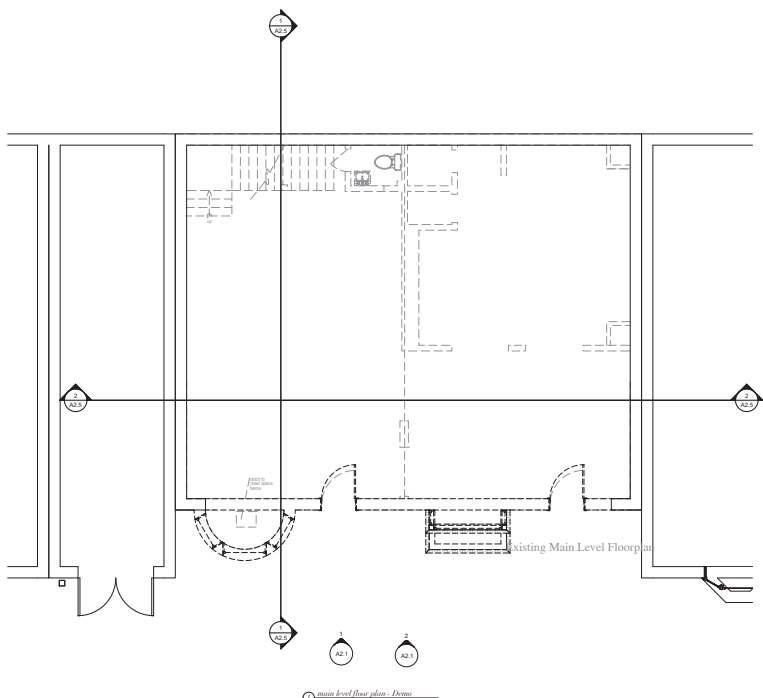
Basement Level Floor Plan
 1,582 SF at basement Level

NOT FOR CONSTRUCTION
 Note: These drawings are intended for construction or permitting. They are not to be used for construction or permitting. They are not to be used for construction or permitting. They are not to be used for construction or permitting.



JEREMY CORKERN STUDIO
 C.B.C.A.
 Mountain Brook, Village, Alabama
 Sheet: Basement Level Floor Plan
 Issue Date: 02/16/2021
 Revision Date:

A1.2



wall type legend

	existing wall to remain
	concrete or cinder wall
	2 x 6 wood stud wall
	2 x 4 wood stud wall
	2x wood stud furring
	new brick veneer
	header above opening OR demo on demo plans

GENERAL DIMENSION NOTES:

1. All exterior wall/floor/ceiling dimensions are from outside face of stud to outside of masonry partition. On exterior masonry walls, dimensions are from face of masonry to outside of masonry partition.

2. Dimensions for windows and doors are to the center of the opening in plan view. Window placement/headers are as dimensioned on elevations.

NOT FOR CONSTRUCTION

Note: these drawings are intended for construction or permitting. They are not a substitute for a schematic design for review & approval by preliminary Code Estimating.

JEREMY CORKERN STUDIO

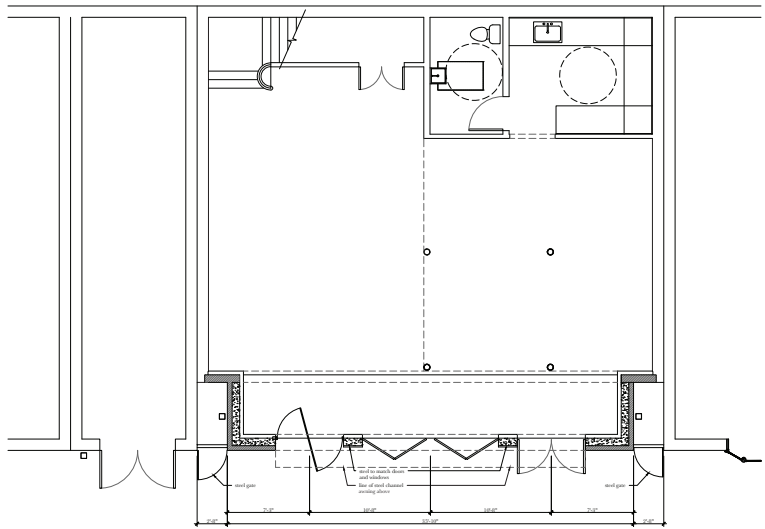
C.B.C.A.
Mountain Brook Village, Alabama

Sheet:
Main Level Demo Plan

Issue Date:
02.16.2021

Revisions Date:

A1.3



① main level floor plan 1/8" = 1'-0"

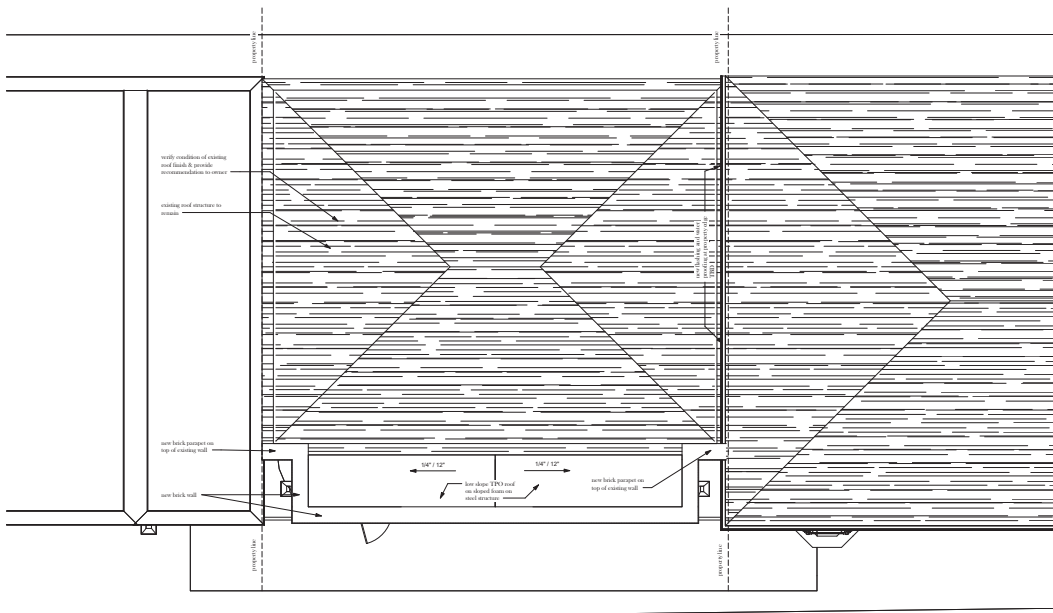


JEREMY
CORKERN
STUDIO

CIRCA
Mountain Brook Village,
Alabama

Sheet: Main Level Floor Plan
Issue Date: 04.19.2021
Revision Date:

A1.4



01. ROOF PLAN
1/8" = 1'-0"

NOT FOR CONSTRUCTION
 Note: These drawings are intended for construction or permitting. They should be a schematic design for review & not for preliminary construction.



C R C A
 Mountain Brook Village, Alabama
 Sheet: Roof Plan
 Issue Date: 02.16.2021
 Revision Date:

A1.6



petticoat lane elevation - new
1/8" = 1'-0"



petticoat lane elevation - existing
1/8" = 1'-0"


JEREMY GORKERN STUDIO
 CIRCA
 Mountain Brook Village, Alabama
 Name: Petticoat Lane Elevation
 Issue Date: 04.29.2021
 Revision Date:

A2.1



c i r c a

INTÉRIEURS
et
ANTIQUITÉS

10h-5h
du Lundi au Vendredi

2831 Culver Road
Birmingham, Alabama 35223

Tel: 205.868.9199

c i r c a

INTÉRIEURS
et
ANTIQUITÉS

10h-5h
du Lundi au Vendredi

2831 Culver Road
Birmingham, Alabama 35223

Tel: 205.868.9199

White Chocolate (2149-70)
Benjamin Moore



DESIGN REVIEW/ SIGN APPLICATION

City of Mountain Brook
Building, Planning, & Sustainability
56 Church St, Mountain Brook, AL 35213
(205) 802-3830 ♦ Fax (205) 879-6913

Review by the Mountain Brook Village Design Review Committee is mandatory. Application and all supplemental documentation must be received no later than fourteen (14) business days prior to scheduled meeting to be placed on agenda. Applicants, owners, and/or tenants are strongly encouraged to appear before the Committee on behalf of their application.

1. Job Site Location:

Business Name: _____

Address: _____

2. Property Owner:

Name: _____

Email: _____

Phone: _____

3. Applicant:

Name: _____

Mailing Address: _____

City/State/Zip: _____

Phone: _____

Email: _____

Signature: _____

4. Contractor Information:

Company Name: _____

Mailing Address: _____

City/State/Zip: _____

Phone: _____

Bus. License No: _____

(for the City of Mountain Brook)

Print Name: _____

Email: _____

Office Use Only - Permits

Permit No: _____

Date Issued: _____

Permitted Amount: _____

Office Use Only - Design Review

Approved

Approved w/ Conditions

Denied

Clerk: _____

Date: _____

Category of Construction

Awning

Facade

Window

Ground

Directory

Roof

Projecting

Door

Directional

Sign Information

Job Description: _____

Permit fees are based on the value of the work performed. Indicate the value (round to the nearest dollar) of all equipment, materials, labor, overhead, and the profit for the work indicated on this application.

Valuation: \$ _____

Number of Proposed Sign(s): _____

Existing Sign Information

Please calculate the total square footage of all existing signs on site. Refer to our sign ordinance for categorical clarification.

Square feet of Signs: _____

Square feet of Incidental Signs: _____

Property Owner Signature

This installation is being made on commercial property owned by me or a member of my immediate family.

Signature: _____

Is this property subject to a master sign plan, which has been approved by the Design Review Committee?

Yes

No

Applications may be obtained online at www.mtnbrook.org/bc-vdrc.

REQUIRED DOCUMENTS

Pursuant to Municipal Code, the following requirements should be attached to each application. Applicants making exterior changes AND proposing new/altering existing signage will need to ensure items from both lists are included.

Design Review Application. In addition to the design review application, each applicant must furnish the following information to the zoning officer in a digital format (PDF) with respect to the improvements to be constructed or renovated on the property for which design review is sought.

- (1) Building elevations displaying existing, pre-construction conditions;
- (2) Building elevations displaying proposed alterations;
- (3) Samples of materials, such as, but not limited to, paint colors, awning material, and construction material;
- (4) Outdoor lighting, including specification sheets to illustrate style, lumens, and lighting color using the Kelvin temperature scale;
- (5) Site plan displaying service area(s) and required screening pursuant to Section 129-196;
- (6) Landscape and planting plan;
- (7) Location(s) of support equipment and screening required pursuant to Section 129-553 (b) (7) and Section 129-294.

Sign Application. In addition to the sign application and list of applicable information listed in Section 129-416 (b), each applicant must furnish the following information to the zoning officer in a digital format (PDF) with respect to the improvements to be constructed or renovated on the property for which design review is sought.

- (1) Scaled drawings of all proposed signs with dimensions clearly labeled, including the dimension(s) of individual letters, numbers, figures, or logos within a sign;
- (2) Scaled drawing of building façade(s), showing the actual size and location of the proposed sign proportion to and in relation to the existing building(s) or the building(s) being constructed;
- (3) Description or samples of sign materials and colors;
- (4) Photographs of adjacent buildings and/or sites clearly showing the character of the surrounding area and of nearby signs;
- (5) Information regarding method of construction and placement of proposed sign;
- (6) Other information the zoning officer may require to demonstrate full compliance with all applicable provisions of this Code;
- (7) If applicable, a copy of the approved master sign plan;
- (8) If applicable, explain how a sign shall be illuminated, including specification sheets to illustrate style, lumens, and lighting color using the Kelvin temperature scale;
- (9) If applicable, an electrical plan for the sign(s), if the sign is to be illuminated;
- (10) If applicable, note whether sign(s) will be opaque or transparent.

V-21-07

Proposed new exterior improvements

The applicant is proposing to add a new façade in front of the existing building front to include:

- New steel and glass windows
- Bronze signage plaque
- New brick color
- New lighting

- **Project Data:**

NAME: Circa Interiors & Antiques

CURRENT ZONING: Local Business District

OWNER: Tom Morrow

LOCATION: 2820 Petticoat Lane

PRELIMINARY ESTIMATING DRAWINGS

Sheet Index	
Number	Name
ME0	Center Street R. Right
ME1	Proposed Level Floor Plan
ME2	Main Level Floor Plan
ME3	Upper Level Floor Plan
ME4	Lower Level Floor Plan
ME5	Basement
ME6	Roof Structure
ME7	Roof Structure

a new location for
CIRCA
Petticoat Lane
Mountain Brook, Alabama

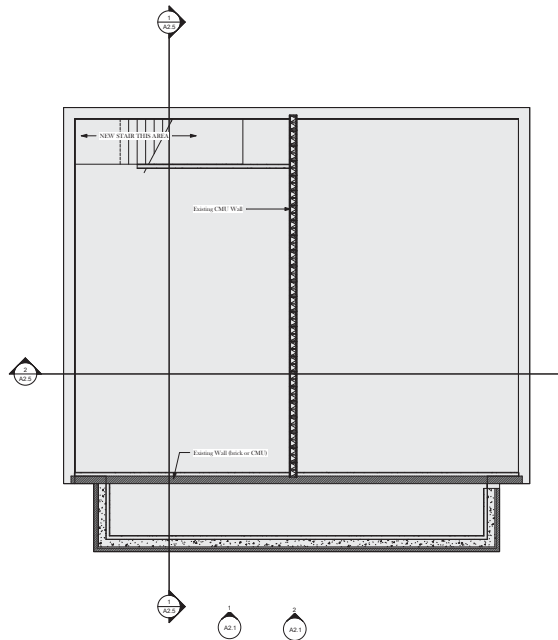
PRELIMINARY
ESTIMATING
DRAWINGS
02.16.2021



wall type legend

	existing wall to remain
	concrete or cinder wall
	2 x 6 wood stud wall
	2 x 4 wood stud wall
	2x wood stud framing
	new brick veneer
	header above opening
	OR demo on demo plans

GENERAL DIMENSION NOTES:
 1. On exterior wood-framed walls, dimensions are from outside face of stud to outside of finish partition. On exterior masonry walls, dimensions are from face of masonry to outside of finish partition.
 2. Dimensions for windows and doors are to the center of the opening in plan view. Window placement brackets are so dimensioned on elevations.



Basement Level Floor Plan
 1,582 SF at basement Level

NOT FOR CONSTRUCTION
 Note: These drawings are intended for construction or permitting. They are not to be used for construction or permitting. They are not to be used for construction or permitting. They are not to be used for construction or permitting.



JEREMY CORKERN STUDIO
 C.B.C.A.
 Mountain Brook, Village, Alabama
 Sheet: Basement Level Floor Plan
 Issue Date: 02/16/2021
 Revision Date:

A1.2

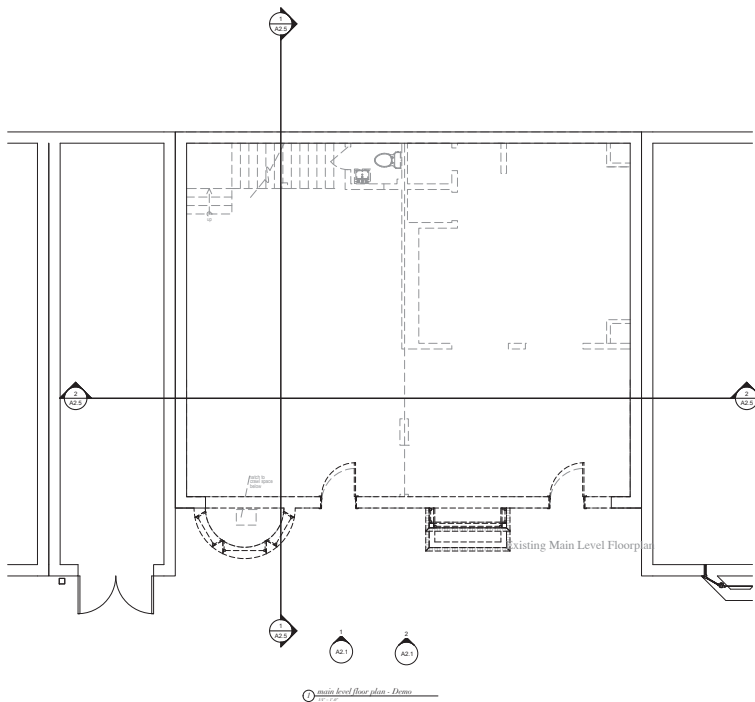
wall type legend

	existing wall to remain
	concrete or cinder wall
	2 x 6 wood stud wall
	2 x 4 wood stud wall
	2x wood stud furring
	new brick veneer
	header above opening OR: demo on demo plans

GENERAL DIMENSION NOTES:

1. All exterior wood-framed walls, dimensions are from outside face of stud to outside of exterior partition. On exterior masonry walls, dimensions are from face of masonry to outside of exterior partition.

2. Dimensions for windows and doors are to the center of the opening in plan view. Window placement/headers are as dimensioned on elevations.



NOT FOR CONSTRUCTION

Note: These drawings are intended for construction or permitting. They are not a substitute for a schematic design for review & approval by preliminary Code Estimating.



C.B.C.A.
Mountain Brook Village, Alabama

Sheet:
Main Level Demo Plan

Issue Date:
02.16.2021

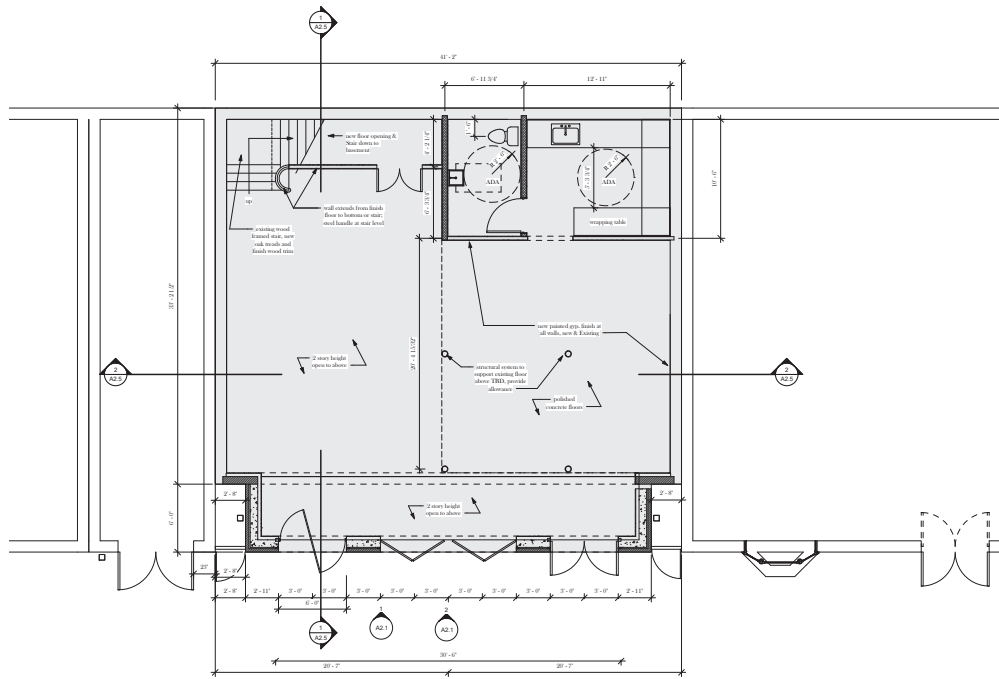
Revisions Date:

A1.3

wall type legend

	existing wall to remain
	concrete or masonry wall
	2 x 6 wood stud wall
	2 x 4 wood stud wall
	2x wood stud furring
	new brick veneer
	header above opening
	OR/demo on demo plans

GENERAL DIMENSION NOTES:
 1. All exterior wall/floor/slab dimensions are from outside face of stud to outside face of masonry partition.
 2. All interior masonry walls, dimensions are from face of masonry to outside face of masonry partition.
 3. Dimensions for windows and doors are to the center of the opening in plan view. Window placements/headers are as dimensioned on elevations.



NOT FOR CONSTRUCTION
 Note: these drawings are intended for construction or permitting. They should be a schematic design for review & C.A.R. for preliminary Code Estimating.



C.B.C.A.
 Mountain Brook Village, Alabama
 Sheet: Main Level Floor Plan
 Issue Date: 02.16.2021
 Revision Date:

A1.4

main level floor plan
 1582 SF at Main Level

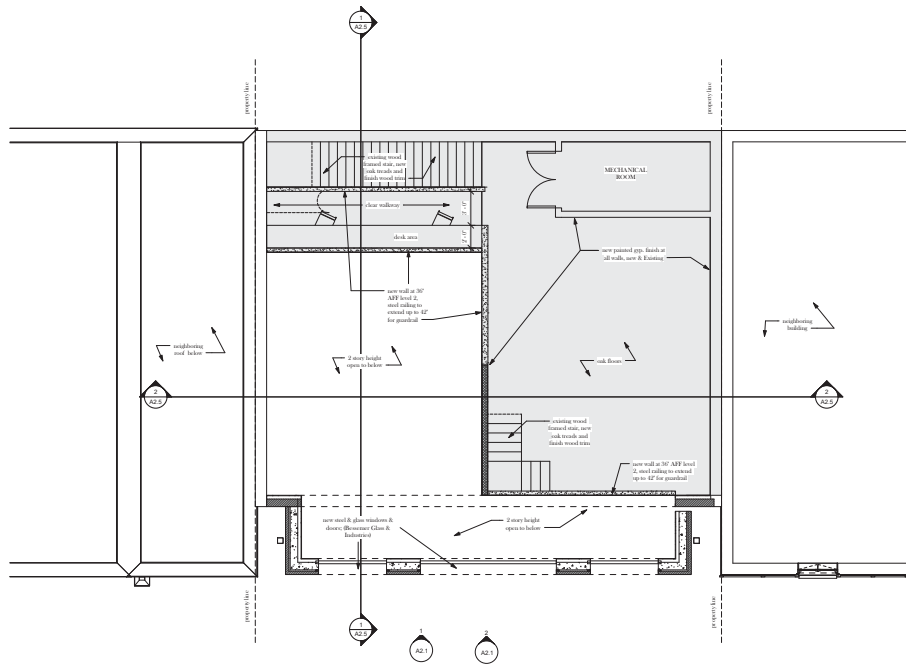
wall type legend

	existing wall to remain
	concrete or cmu wall
	2 x 6 wood stud wall
	2 x 4 wood stud wall
	2x wood stud framing
	new brick veneer
	header above opening
	OR demo on demo plans

GENERAL DIMENSION NOTES

1. All exterior wood framed walls, dimensions are from outside face of stud to outside of exterior partition. On exterior masonry walls, dimensions are from face of masonry to outside of exterior partition.

2. Dimension for windows and doors are to the center of the opening in plan view. Window placement includes an as dimensioned on elevations.



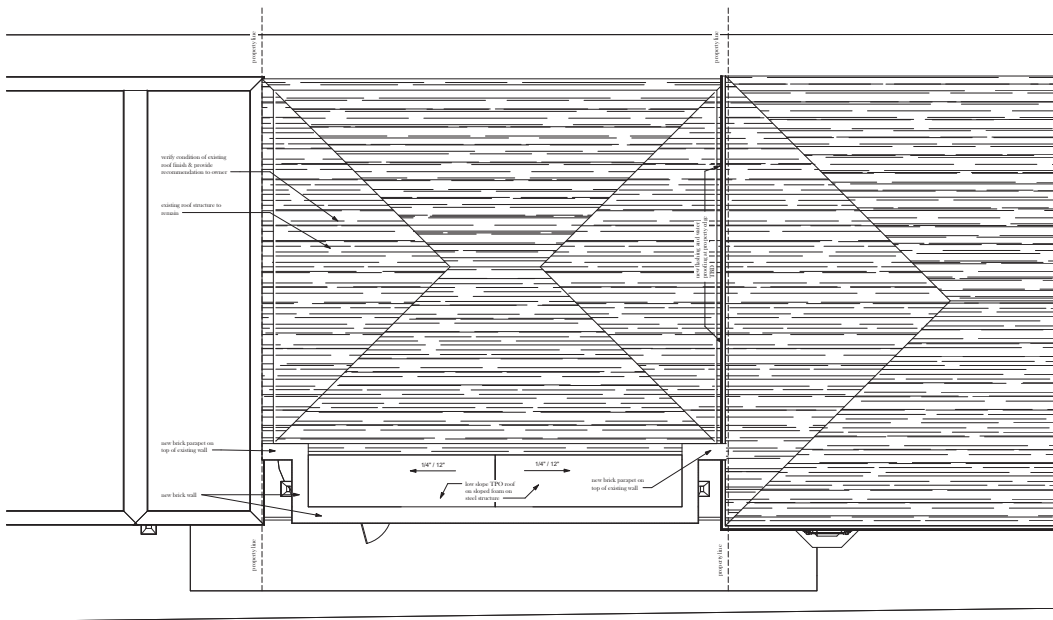
Upper Level floor plan
 Upper Level is 885 (gross) SF

NOT FOR CONSTRUCTION
 Note: These drawings are intended for construction or permitting. They should be a schematic design for review & approval for preliminary construction.



JEREMY CORKERN STUDIO
 C R C A
 Mountain Brook Village, Alabama
 Sheet: Upper Level Floor Plan
 Issue Date: 02/16/2021
 Revision Date:

A1.5



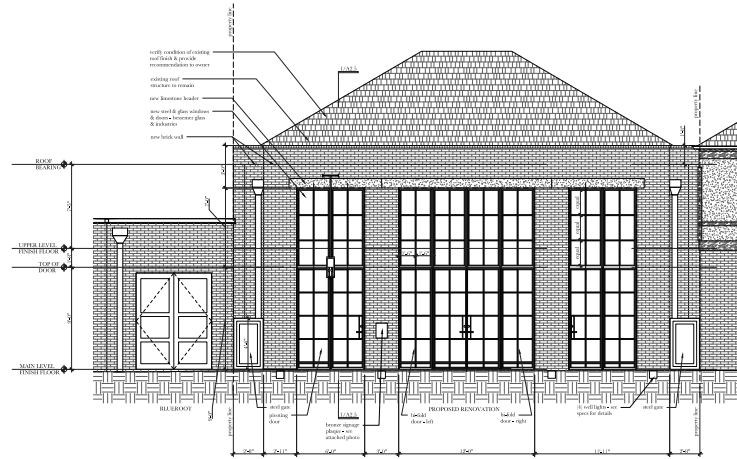
01. ROOF PLAN
1/8" = 1'-0"

NOT FOR CONSTRUCTION
Note: these drawings are intended for construction or permitting. They should be a schematic design for review & cost for preliminary cost estimating.

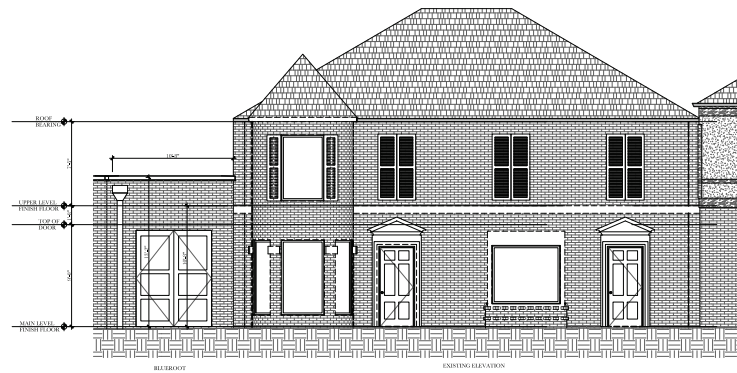


C R C A
 Mountain Brook Village,
 Alabama
 Sheet: Roof Plan
 Issue Date: 02.16.2021
 Revision Date:

A1.6



petticoat lane elevation - new
1/4" = 1'-0"



petticoat lane elevation - existing
1/4" = 1'-0"



JEREMY GORKERN STUDIO

CIRCA

Mountain Brook Village, Alabama

Site: Petticoat Lane Elevation

Issue Date: 02.16.2021

Revision Date:

A2.1



c i r c a

INTÉRIEURS
et
ANTIQUITÉS

10h-5h
du Lundi au Vendredi

2831 Culver Road
Birmingham, Alabama 35223

Tel: 205.868.9199

c i r c a

INTÉRIEURS
et
ANTIQUITÉS

10h-5h
du Lundi au Vendredi

2831 Culver Road
Birmingham, Alabama 35223

Tel: 205.868.9199

White Chocolate (2149-70)
Benjamin Moore

JOB _____

TYPE _____

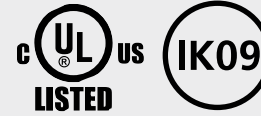
NOTES _____

APPROVALS _____

FEATURES

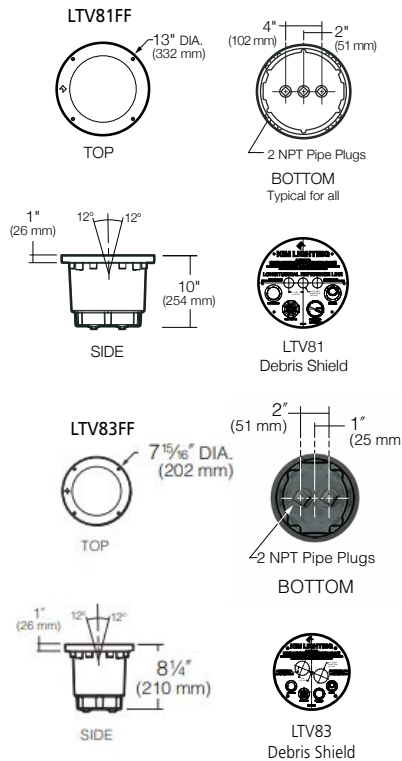
- Sealed IP68 LED light engine
- Bluetooth connectivity for remote control aiming and dimming
- Free Mobile App for Android and iOS
- Easy to install and pair devices
- Advanced thermal management provides long life in excess of 100,000+ hours
- Runs cool to the touch - less than 40°C

CERTIFICATIONS



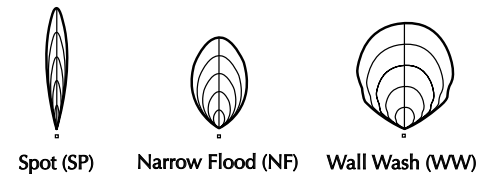
SPECIFICATIONS

Pour Box rough-in housing ships separately and as a quick-ship if requested.



LIGHT DISTRIBUTIONS:

LTV81FF, LTV82FF, LTV83FF



ORDERING CODE

LTV8xFF						
Fixture Size	Distribution*	Source	Electrical Module		Lens Options ¹	Rebar Cage Anchor
LTV81FF	13" Dia.	SP, NF, WW	36L	36 LEDs	SR Slip-Resistant Lens	RCA81 for LTV81
LTV82FF	10-3/8" Dia.	SP, NF, WW	18L	18 LEDs	PL Prismatic Lens	RCA82 for LTV82
LTV83FF	7-15/16" Dia.	SP, NF, WW	12L	12 LEDs		RCA83 for LTV83
			Color Temperature			
			3K 3000K			
			4K 4000K			
			5K 5000K			
			Voltages			
			UV 120-277V			

* SP = Spot, NF = Narrow Flood, WW = Wall Wash

¹ All lens options are integral parts of component module and must be installed at factory.

Kim Lighting reserves the right to change specifications without notice.

LTV81FF

Optical Module	Source	Color Temperature	Absolute Lumens	Center Beam Candle Power*	Voltage	Total System Watts	Max. Amps	Beam Angle (50%) H x V	Field Angle (10%) H x V	NEMA Type			
SP	36L	3K	3529	42861	UV	42W	.350 for 120V .202 for 208V .175 for 240V .152 for 277V	12.9 x 12.9	26.4 x 26.4	2H x 2V			
		4K	3617	45492									
		5K	3658	46015									
NF		3K	2911	3248				44W	.367 for 120V .212 for 208V .183 for 240V .159 for 277V		53.1 x 28.2	102.5 x 61.1	6H x 4V
		4K	2985	3310									
		5K	3020	3379									
WW		3K	3739	6083		44W	.367 for 120V .212 for 208V .183 for 240V .159 for 277V	53.1 x 28.2	102.5 x 61.1	6H x 4V			
		4K	3835	6239									
		5K	3878	6309									

LTV82FF

Optical Module	Source	Color Temperature	Absolute Lumens	Center Beam Candle Power*	Voltage	Total System Watts	Max. Amps	Beam Angle (50%) H x V	Field Angle (10%) H x V	NEMA Type			
SP	18L	3K	1809	23634	UV	22W	.183 for 120V .106 for 208V .092 for 240V .079 for 277V	13 x 13	26.5 x 26.5	2H x 2V			
		4K	1857	23065									
		5K	1875	25186									
NF		3K	1558	1889				19W	.158 for 120V .091 for 208V .079 for 240V .069 for 277V		58.9 x 21.3	93.3 x 53.9	5H x 4V
		4K	1597	1911									
		5K	1617	1934									
WW		3K	1637	3528		19W	.158 for 120V .091 for 208V .079 for 240V .069 for 277V	58.9 x 21.3	93.3 x 53.9	5H x 4V			
		4K	1679	3616									
		5K	1698	3659									

LTV83FF

Optical Module	Source	Color Temperature	Absolute Lumens	Center Beam Candle Power*	Voltage	Total System Watts	Max. Amps	Beam Angle (50%) H x V	Field Angle (10%) H x V	NEMA Type			
SP	12L	3K	1151	14996	UV	14W	.117 for 120V .067 for 208V .058 for 240V .051 for 277V	12.7 x 12.7	26.3 x 26.3	2H x 2V			
		4K	1180	15382									
		5K	1195	15564									
NF		3K	988	1204				14W	.117 for 120V .067 for 208V .058 for 240V .051 for 277V		50.3 x 50.3	81.2 x 81.2	5H x 5V
		4K	1013	1235									
		5K	1025	1250									
WW		3K	1222	2611		14W	.117 for 120V .067 for 208V .058 for 240V .051 for 277V	50.3 x 50.3	81.2 x 81.2	5H x 5V			
		4K	1253	2679									
		5K	1258	2709									

KEY: FF = Flat Frame, SP = Spot, NF = Narrow Flood, WW = Wall Wash (PicoPrism™), 36L = 36 LEDs, 18L = 18 LEDs, 16L = 16 LEDs, 12L = 12 LEDs, 3K = 3000K
4K = 4000K, 5K = 5000, UV = Universal Voltage shall range from 120V-277V with a ±10% tolerance.

* The SP and NF are based on Candela exiting unit straight up. The WW is for highest candela angle.

Spectroradiometric

	3K	4K	5K
Correlated Color Temp. CCT (K)	2800K to 3175K	3800K to 4600K	4600K to 5600K
Color Rendering Index (CRI)	≥72	≥72	≥72
Power Factor	>.90	>.90	>.90

Kim Lighting reserves the right to change specifications without notice.

L70 Data

	Calculated	Reported*
350 mA	100,000	60,000

*Based on test duration.

SPECIFICATIONS

Housing:

- Pour Box rough-in housing for installation below grade.
- High temperature UV resistant thermal plastic, F" minimum wall, black.
- Includes a splice box with molded plastic splice cover and silicone gasket.
- Three 1" NPT in bottom for through wiring on LTV81 and LTV82.
- Two 1" NPT in bottom for through wiring on LTV83. 107 cu. in. splice area for LTV81.
- 52 cu. in. splice area for LTV82. 24 cu. in. splice area for LTV83.
- Supplied with protective aluminum debris shield mask with orientation label for proper installation alignment for clean and easy installation in concrete pad or soil. Ships separately and as a quick-ship if requested.

Component Module:

- One-piece impregnated cast bronze, fully sealed component module secured to the face trims from the underside.
- A high temperature, anti-siphon, IP67 sealed cable extends from the component module to the splice box inside the housing.
- The fully assembled component module is secured to the housing with (4) ¼-20 tamper-resistant high grade stainless steel fasteners.

Face Trim:

- One-piece cast bronze lens ring fastened to the component module from the underside shall provide a flat surface.

Optical Modules:

- Spot (SP), Narrow Flood (NF), and Wall Wash (WW) optical modules are adjustable up to 15° utilizing a Bluetooth enabled motor assembly.

Bluetooth:

- Integral Bluetooth module used to adjust optics and dim fixture to desired setting when paired with KIM LTV8 Remote App via cellular/tablet device.
- Fully qualified Bluetooth 1.1, 1.2, 2.0, 2.1. Bluetooth v2.0+EDR compatible with Android devices running Android Gingerbread API level 9 forward. Bluetooth 4.0 LE compatible with iOS devices - iPhone 4S and later, 5th generation iPod touch, the iPad Mini and the 3rd generation and later of the full size iPad with iOS 5 or later.
- Bluetooth Apps are available for Apple iOS and Google Android mobile devices and are downloadable via the internet at Apple App Store or Google Play.

Lens:

- Clear 5/16" thick tempered glass lens and silicone gasket is retained securely within the component module.

Options:

- Slip Resistant Lens (SR), Prismatic Lens (PL), Rebar Cage Anchor (RCA8x).

Electrical Equipment:

- All electronic components are UL and CSA recognized and mounted directly to the component module for maximum heat dissipation and modularity. Driver is IP67 with -30°C minimum temperature rating.
- Product comes standard with a UL Recognized 10kA surge protector.

Drive-Over Durability:

- LTV8FF when installed in concrete, fixture will withstand drive-over by vehicles weighing up to 4,500 lbs.

Certification:

- (UL1598, UL8750). 25°C ambient operation.
- SASO Certified for LTV82/83.
- IEC 66262 Mechanical Impact Code IK09.
- CISPR 15 Compliant, per product standard EN 55015:2013.

Warranty:

- For full warranty see <http://www.hubbellighting.com/resources/warranty>
- Opening of Component Module on site will void warranty.



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