

MEETING AGENDA
CITY OF MOUNTAIN BROOK

VILLAGE DESIGN REVIEW COMMITTEE

1/15/2020

PRE-MEETING: (ROOM A106) 7:30 A.M.

REGULAR MEETING: (ROOM A108) 8:00 A.M.

CITY HALL, 56 CHURCH STREET, MOUNTAIN BROOK, AL 35213

1. Approval of Agenda
2. Approval of Minutes: 12/18/2019, Regular Meeting
3. Case **V-20-01**: Lane Parke Apartments – **1000 Lane Parke Court**, New Item
4. Case **V-20-02**: ALKMY – **17 Dexter Avenue**, New Item
5. Next Meeting: 2/19/2020
6. Adjournment



DESIGN REVIEW/ SIGN APPLICATION

City of Mountain Brook
Building, Planning, & Sustainability
56 Church St, Mountain Brook, AL 35213
(205) 802-3830 • Fax (205) 879-6913

V-20-01

Office Use Only - Permits

Permit No:

Date Issued:

Permitted Amount:

Office Use Only - Design Review

- Approved
- Approved w/ Conditions
- Denied

Clerk:

Date:

Category of Construction

- | | | |
|-------------------------------------|------------------------------------|--------------------------------------|
| <input type="checkbox"/> Awning | <input type="checkbox"/> Facade | <input type="checkbox"/> Window |
| <input type="checkbox"/> Ground | <input type="checkbox"/> Directory | <input type="checkbox"/> Roof |
| <input type="checkbox"/> Projecting | <input type="checkbox"/> Door | <input type="checkbox"/> Directional |

Sign Information

Job Description:

N/A

Permit fees are based on the value of the work performed. Indicate the value (round to the nearest dollar) of all equipment, materials, labor, overhead, and the profit for the work indicated on this application.

Valuation: \$

Number of Proposed Sign(s):

Existing Sign Information

Please calculate the total square footage of all existing signs on site. Refer to our sign ordinance for categorical clarification.

Square feet of Signs:

Square feet of Incidental Signs:

Property Owner Signature

This installation is being made on commercial property owned by me or a member of my immediate family.

Signature:

Is this property subject to a master sign plan, which has been approved by the Design Review Committee?

- Yes
- No

Applications may be obtained online at www.mtnbrook.org/bc-vdrc.

Review by the Mountain Brook Village Design Review Committee is mandatory. Application and all supplemental documentation must be received no later than fourteen (14) business days prior to scheduled meeting to be placed on agenda. Applicants, owners, and/or tenants are strongly encouraged to appear before the Committee on behalf of their application.

1. Job Site Location:

Business Name: LANE PARKE APARTMENTS

Address: 1000 LANE PARKE COURT
MOUNTAIN BROOK, AL 35223

2. Property Owner:

Name: LIFT LANE PARKE, LLC

Email: LLPMANAGER@CARTERHASTON.COM

Phone: 205-443-4567

3. Applicant:

Name: HNP, LLC

Mailing Address: 1914 28TH AVE S

City/State/Zip: BIRMINGHAM, AL 35209

Phone: 205-870-9936

Email: JAMES@HNPSITEPLAN.COM

Signature: [Handwritten Signature]

4. Contractor Information:

Company Name: TO BE DETERMINED - CURRENTLY BIDDING

Mailing Address: _____

City/State/Zip: _____

Phone: _____

Bus. License No: _____

(for the City of Mountain Brook)

Print Name: _____

Email: _____

V-20-01

Proposed Woodland Park

This request is for a section of the Woodland Park within the Lane Parke PUD. With the exception of the sod lawn, the proposed plant materials and mix of amenities meet the intent and plant list of the PUD.

The majority of the walk is comprised of crushed stone, the plan makes use of a rain garden, there is an area for walking and informal gathering, and several trees are to be protected and retained. Connectivity to the village is shown to be in compliance with the Walkway Plan approved by VDR in conjunction with the attached landscape plans for Phase 2 Retail.

Also, attached is a letter from Schoel Engineering indicating approval of the proposed stormwater improvements, which are said to appropriately convey and manage water runoff from the site to the creek and surrounding properties.

The proposed area denoted for the installation of sod currently contains a grassy/weed mix, where the apartment owners likely seeded the area to stabilize exposed, loose ground matter that had been churned up during the demolition/construction phase, and has been used in that state ever since. The proposed sod area is actually reduced in size from the current grassy/weed area (see attached photos from extent of the existing grass area).

However, the PUD's intent for Woodland Park is that it be improved as a "natural" park area, similar to that of Jemison Trail with regard to plant species, creek stabilization, crushed stone paths, and an informal setting... containing areas for wildlife observation, picnics, walks, and informal gathering (see attached pages 88, and 91-92 of the PUD for plans and approved plant species list). There is no mention of a formal lawn or grassy area in the PUD for Woodland Park.

The applicant is apprised that sod is not in-line with the Woodland Park specifications of the PUD, and has been ask to consider an alternative plant material/ground cover. It is the intent of this meeting to give VDR the opportunity to review and make recommendations to the proposed landscape plan for the Woodland Park, with the knowledge that it will be passed to the Board of Landscape Design for further review and recommendations.

- **Project Data:**

NAME: Lane Parke Apartments (Woodland Park)

CURRENT ZONING: PUD

OWNER: LIPT Lane Parke, LLC

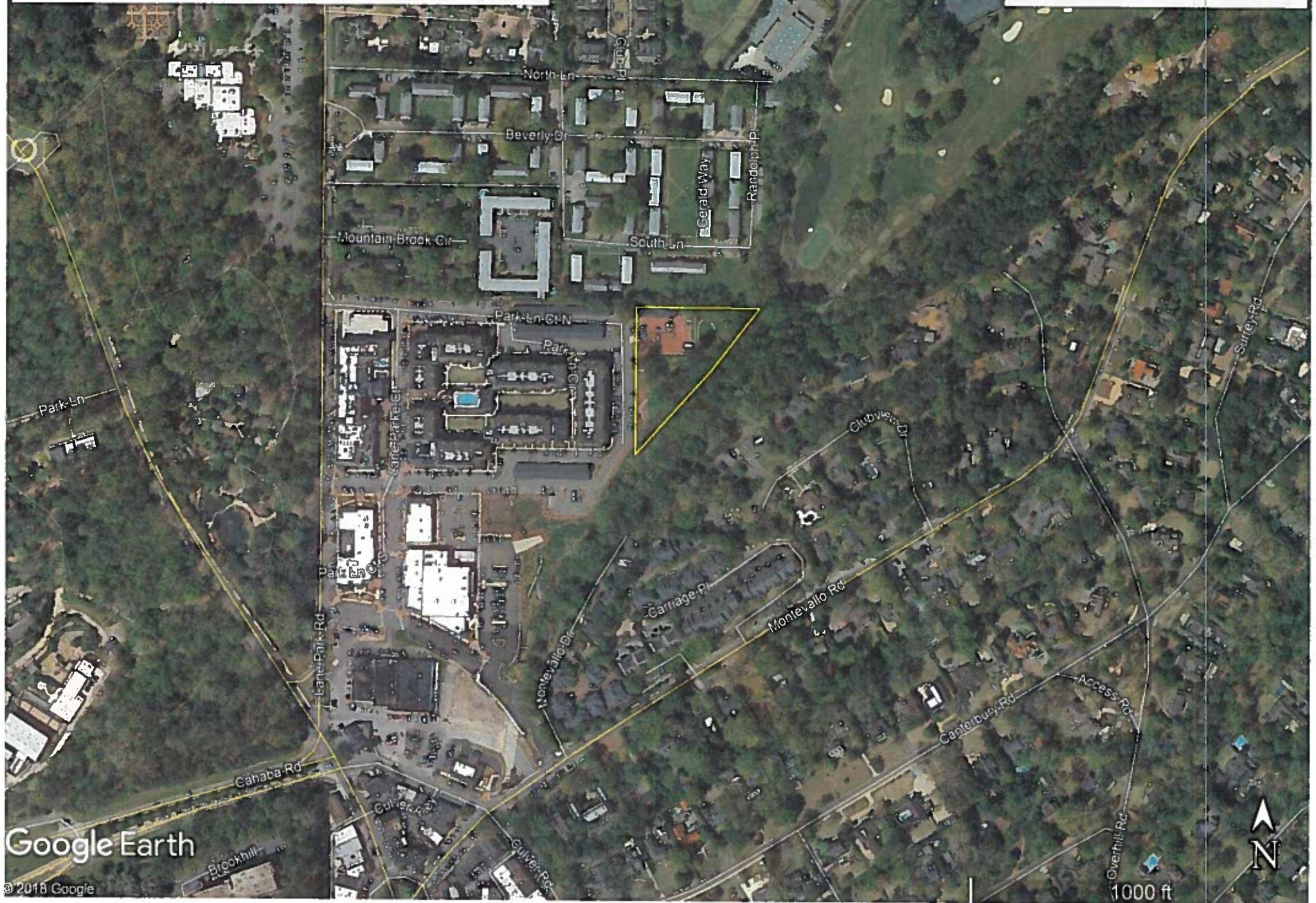
LOCATION: 1000 Lane Parke Court

Lane Parke Amenity Space Project

Vicinity Map

Legend

-  Lane Parke Amenity Space



Google Earth

© 2018 Google

1000 ft



December 17, 2019

Building Inspections Department
City of Mountain Brook
56 Church Street
Mountain Brook, AL 35213

Attention: Mr. Glen Merchant, Building Official

Reference: No-Rise Certification
Lane Parke Amenity Space

Dear Mr. Merchant:

My Client, HNP Landscape Architecture (HNP), proposes to renovate the existing amenity space at the Lane Parke Apartments bordering Watkins Brook. The location of the site is shown on the attached site map. The amenity space is located predominantly outside of the floodway of Watkins Brook with a base flood elevation ranging between 671.50 and 673.5 feet MSL.

Project Overview

HNP proposes to renovate the existing amenity space to create a patio space, add new planting areas and implement stormwater improvements to better convey and manage site runoff. In general, grading will be minimal and limited to areas outside the floodplain to better facilitate drainage to the existing and proposed inlets. A rain garden is proposed and located at the southern border of the project site to capture and infiltrate stormwater runoff. The rain garden is located within the regulatory floodway but excavated below the existing grade. The surrounding ground will be slightly reshaped to direct runoff to the rain garden. The proposed patio space and main planting area is located in the northwestern quarter of the site outside of the floodway. The patio improvements will include the addition of hardscape, a dry creek stormwater conveyance feature, and a large planting area.

The construction documents package dated 12/12/2019 for the proposed Lane Parke Amenity Space project is enclosed with this letter.

Effective Flood Insurance Study

The effective Flood Insurance Study (FIS) for Jefferson County, dated September 3, 2010, covers the project area. The project area is located on FIRM Panel Number 01073C0557H. The FIS and FIRM were revised through a Letter of Map Revision (11-04-6751P) with an effective date of April 9, 2012.

Schoel performed the most recent study of Watkins Brook as part of the Watkins Brook Flood Hazard Mitigation Project. This study was the basis for the effective FEMA FIS and Flood Insurance Rate Maps (FIRM) for Watkins Brook. In addition, Schoel has worked with the developer and design team for the Lane Parke development to provide design guidance to prevent adverse impacts to flows and water surface elevations as a result of the project. The models developed as part of this work were referenced in addition to the effective FIS models for use in this analysis. The HEC-RAS hydraulics model for Watkins Brook was utilized in this analysis to evaluate the effect of the proposed amenity space improvements on the flood elevations and floodway widths. The effective FEMA model included cross sections upstream and downstream of the study property (Stations 6271.06 and 5523.22, respectively). The Lane Parke Development model included several additional cross sections within the amenity area and better represent the existing conditions as well as provides the ability to evaluate changes due to the proposed project (see Exhibit 4). The analysis will be discussed in more detail in the following section.

No Rise Evaluation

The Lane Parke Development study used the effective FIS model as the basis to accurately evaluate the effect of the development. The Lane Parke model was used to provide design guidance and ultimately demonstrate that the proposed Lane Parke Development would meet the City's "no rise" criteria as defined in the flood ordinance. Since this model best represents the existing conditions in the vicinity of the Lane Parke Amenity Space project it formed the basis for comparison in the no-rise analysis of the proposed work.

The grading plan prepared by HNP was used to evaluate the changes in topography due to the proposed amenity space improvement project. This review indicated only minor changes through the project site and no changes that would impact model cross sections. Furthermore, evaluation of the proposed grading located within the floodway indicated no changes that would reflect in the model cross sections. In addition, proposed vegetation was consistent with Manning n-values used in the HEC-RAS model for the overbank area. Because of the minimal changes to the site topography and nothing that would alter cross section geometry or roughness values, a proposed conditions model was not needed for this analysis.

Conclusion

HNP Landscape Architecture proposes to renovate the existing amenity space at the Lane Parke Apartments bordering Watkins Brook. Grading will be minimal for the proposed project and limited to areas outside the floodplain to better facilitate drainage to the existing and proposed inlets. The minimal grading will also allow for preservation of the existing trees within the project area. A rain garden will be constructed within the regulatory floodway but excavated below the existing grade.

The effective FEMA HEC-RAS model and Land Park Development study models were used to evaluate changes due to the proposed project. The model cross section geometry was not affected as a result of the proposed project due to the negligible changes to site grades. Manning's roughness values were appropriate for the proposed vegetation plan and also were not affected. Since no changes were necessary to evaluate the proposed project, model elevations do not change as a result of the proposed amenity space improvements. As long as the work conforms to that shown on the attached drawings

package (dated 12/12/2019), I certify that the described work will cause no rise in the upstream or downstream base flood and floodway elevations and floodway location. I have attached exhibits and other relevant information in support of this no-rise analysis to this letter.

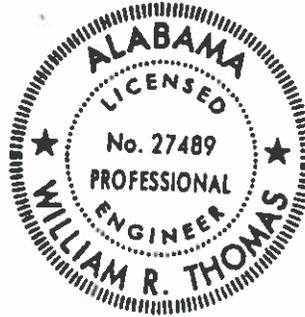
If you have any questions, please do not hesitate to call me at (205) 323-6166.

Very truly yours,

SCHOEL ENGINEERING COMPANY, INC.



William R. Thomas, P.E., CFM
AL Reg. No. 27489



Enclosure



OPEN SPACE, STORM WATER MANAGEMENT AND ACTIVE CONNECTIVITY

Open space within Lane Parke shall include the Village Green, the Woodland Park, residential green space and numerous pocket parks and spaces of passage.

It is the goal to manage stormwater leaving the site and improve water quality. Maximizing water percolation into the ground is key to the management of the amount of runoff in a development. Lane Parke will strive to use a number of techniques like bioretention or raingardens, pervious paving in strategic locations and infiltration swales to assist in the percolation of water into the ground. All these methods filter the water and improve water quality.

All parks and public spaces are connected by a walkway system providing linkage to streetscapes and beyond to the Village and adjacent neighborhoods. These walkways will complement the existing network identified in the

Mountain Brook Pedestrian Master Plan and beyond providing linkage to the proposed greenways and trails of the Our One Mile Greenway Master Plan for Jefferson County.

IDENTIFYING FEATURES

1. VILLAGE GREEN
2. WOODLAND PARK
3. RESIDENTIAL GREEN SPACE
4. ACTIVE CONNECTIVITY WITH THE MOUNTAIN BROOK
5. INNOVATIVE STORM WATER MANAGEMENT
6. TREE LINED STREETS



WOODLAND PARK

The Woodland Park will be located as shown on the Illustrative Master Plan and shall be completed by the completion of construction of the Residential Phase.

Plantings within the natural area will include riparian plants for creek stabilization and indigenous trees planted beyond the creek (similar to the eastern slope to bring that canopy type throughout the Woodland Park and reminiscent to the canopy at the Botanical Gardens to the west of Lane Park Road). Native plant massing will be used throughout and with areas of native shrubs, groundcover and wildflowers.

Walking paths, similar to the Jemison Trail, will connect the Village with the natural areas and designated areas for wildlife observation, picnics and informal gathering and walks. These paths via the walkway system will connect with the existing Mountain Brook trail system. The exposed creek will be reminiscent to a rock lined mountain stream with natural plantings.

Plants will be watered initially for stabilization only. Long term irrigation will not be used. Bioretention will be used to handle storm water overflow and filter toxins present before entering Watkins Branch.

IDENTIFYING FEATURES

1. NATIVE TREE CANOPY
2. TRAILS
3. CONNECTIVITY WITH MOUNTAIN BROOK TRAIL SYSTEM
4. NATIVE PLANTS AND WILDFLOWERS
5. WILDLIFE OBSERVATION
6. COMPLEMENTS ADJACENT EXISTING TREE CANOPIES
7. OCCASIONAL SEATING

SHADE TREES

Latin Name	Common Name
Fagus grandifolia	American Beech
Fraxinus pennsylvanica	Green Ash
Fraxinus pennsylvanica 'Patmore'	Pat Moore Ash
Fraxinus pennsylvanica 'Urbanite'	Urbanite Ash
Ginkgo biloba	Ginkgo
Koelreuteria bipinnata	Golden Rain Tree
Liquidambar styraciflua	Fruitless Sweetgum
Liriodendron tulipifera	Tulip Poplar
Magnolia grandiflora	Southern Magnolia
Magnolia macrophylla	Big Leaf Magnolia
Nyssa sylvatica	Black Gum
Pistacia chinensis	Chinese Pistache
Quercus alba	White Oak
Quercus falcata	Southern Red Oak
Quercus lyrata	Overcup Oak
Quercus michauxii	Swamp Chestnut Oak
Quercus nuttallii	Nuttall Oak
Quercus phellos	Willow Oak
Quercus shumardii	Shumard Oak
Taxodium distichum	Cypress
Ulmus parvifolia	Lacebark Elm
Ulmus parvifolia "Bosque"	Bosque Elm
Ulmus parvifolia "Drake"	Drake Elm

SMALL ACCENT TREES

Latin Name	Common Name
Acer palmatum	Japanese Maple
Betula nigra	River Birch
Cercis canadensis	Redbud
Cornis florida	Dogwood
Crataegus marshallii	Parsley Hawthorn
Ilex cornuta "burfordii"	Burford Holly
Ilex decidua	Deciduous Holly
Ilex vomitoria	Yaupon Holly
Lagerstroemia indica	Crape Myrtle
Magnolia virginiana 'Australis'	Sweet Bay Magnolia
Malus x zumi	Zumi Crabapple
Myrica cerifera	Wax Myrtle

VINES

Latin Name	Common Name
Ficus pumila	Fig Vine
Gelsemium sempervirens	Carolina Jessamine
Parthenocissus tricuspidata	Boston Ivy
Smilax lanceolata	Smilax
Trachelospermum asiaticum	Asiatic Jasmine
Trachelospermum jasminoides	Star Jasmine

NATIVE PLANTS FOR NATURAL AREAS

Latin Name	Common Name
Aesculus pavia	Red Buckeye
Ageratum	Hardy Ageratum
Asimina triloba	PawPaw
Asclepias tuberosa	Butterfly Weed
Betula nigra	River Birch
Callicarpa americana	American Beautyberry
Calycanthus floridus	Carolina Sweetshrub
Carpinus caroliniana	American Hornbeam
Cercis canadensis	Redbud
Chionanthus virginicus	Fringe Tree
Clethera accuminata	Summersweet
Coreopsis	Coreopsis
Cornus florida	Flowering Dogwood
Crataegus marshallii	Parsley Hawthorn
Daucus corata	Queen Annes Lace
Euonymus americana	Hearts a Bustin'
Fagus grandifolia	American Beech
Fothergilla gardenia 'Mt. Airy'	Fothergilla selections
Halesia diptera	Silver Bell
Hibiscus militaris	Swamp Hibiscus
Hydrangea quercifolia	Oakleaf Hydrangea
Ilex decidua	Deciduous Holly
Kalmia latifolia	Mountain Laurel
Magnolia macrophylla	Bigleaf Magnolia
Magnolia virginiana	Sweet Bay Magnolia
Prunus americana	Wild Plum
Rudbeckia	Black Eye Susan
Schizachyrium scoparium	Little Bluestem
Violet odorata	Sweet Violet

SHRUBS AND GROUND COVER

Latin Name	Common Name
Abelia grandiflora	Glossy Abelia
Agarista populifolia	Florida Leucothoe
Aspidistra elatior	Aspidistra
Berberis thunbergii	Red Leaf Barberry
Clethera accuminata	Summersweet
Cotoneaster horizontalis	Cotoneaster
Cotoneaster lacteus	Parney's Cotoneaster
Cyrtomium falcatum	Holly Leaf Fern
Euonymus alatus	Winged Euonymus
Euonymus americana	Hearts a Bustin'
Forsythia intermedia	Forsythia
Fothergilla gardenia 'Mt. Airy'	Fothergilla selections
H. quercifolia 'Alice'	Oakleaf Hydrangea
H. quercifolia 'Pee Wee'	Oakleaf Hydrangea
H. quercifolia 'Snow Flake'	Oakleaf Hydrangea
H. quercifolia 'Snowqueen'	Oakleaf Hydrangea
Hamamelis virginiana	Witchhazel
Ilex cornuta "Burfordii"	Burford Chinese Holly
Ilex latifolia	Luster-Leaf Holly
Ilex vomitoria	Yaupon
Ilex x messerve 'Blue Princess'	Blue Princess Holly
Ilex x 'Nellie Stevens'	Nellie Stevens Holly
Jasminum floridum	Florida Jasmine
Jasminum mesnyi	Primrose Jasmine
Juniperus conferta	Shore Juniper
K. latifolia 'Minuet'	Mountain Laurel (Dwarf)
K. latifolia 'Sarah', 'Nathan Hale'	Mountain Laurel
Leucothoe fontanesiana	Leucothoe
Liriope muscari	Liriope
Myrica cerifera	Wax Myrtle
Nandina domestica	Nandina
Ophiopogon japonicus	Mondo
Prunus laurocerasus 'Schipkaensis'	Skip Laurel
Raphiolepis indica	Indian Hawthorn
Rosa 'Radrizz'	Knockout Rose
Spiraea cantoniensis	Reeves Spirea
Spiraea thunbergii	Baby's Breath Spirea
Spiraea vanhouttei	Vanhoutte Spirea
Ternstroemia gymnanthera	Cleyera
Vinca major	Vinca

RIPARIAN PLANTS FOR CREEK STABILIZATION

Latin Name	Common Name
<i>Trees</i>	
Acer rubrum (FAC)	Red Maple
Betula nigra (FACW)	River Birch
Cornus amomum	Silky Dogwood
Cornus foemina (FACW-)	Swamp Dogwood
Magnolia virginiana (FACW+)	Sweet Bay Magnolia
Nyssa aquatica (OBL)	Water Tupelo
Quercus michauxii	Swamp Chestnut Oak
Quercus nigra (FAC)	Water Oak
Quercus phellos (FACW-)	Willow Oak
Quercus shumardii (FACW-)	Shumard Oak
Salix nigra (OBL)	Black Willow
Taxodium distichum (OBL)	Bald Cypress
<i>Grasses/Herbs</i>	
Amorpha fruticosa (FACW)	False Indigo
Andropogon gerardii (FAC)	Big Blue Stem
Asclepias incarnata (OBL)	Milkweed
Aster sp.	Aster
Echinacea purpureum	Purple Cone Flower
Eupatorium purpureum	Joe-Pye Weed
Helenium autumnale (FACW)	Sneeze Weed
Helianthus simulans	Swamp Sunflower
Juncus effuses	Common Rush
Lobelia cardinali	Cardinal Flower
Panicum virgatum	Switch Grass
Schizachyrium scoparium (FACU)	Little Blue Stem
Scirpus sp.	Wool Rush
Sorghastrum nutans (FACU)	Indian Grass
Tripsicum dactyloides	Gamma Grass
<i>Shrubs</i>	
Cephalanthus occidentalis (OBL)	Buttonbush
Hydrangea querciflora (FACU)	Oak leafed Hydrangea
Ilex cassine (FACW)	Dahoon Holly
Itea virginica (FACW+)	Virginia Sweetspire
Myrica cerifera (FAC+)	Wax Myrtle
Rhododendron sp.	Native Azalea
Viburnum nodum (FACW+)	Possumhaw
<i>Ferns</i>	
Dryopteris erythrosora	Autumn Fern
Onoclea sensibilis (FACW)	Sensitive Fern
Osmunda sp. (FACW+)	Cinnamon Fern
Woodwardia areolata (OBL)	Netted Chain Fern





REVISIONS:

SHEET TITLE:

PLANTING PLAN

DATE: 10/10/13 DRAWN: JH

CHECKED: SH

SHEET

L3

SEQUENCE 3 OF 5
PROJECT NO.: C1001

① PLANTING SCHEDULE: MAIN PLANTING AREA

Trees							
Quantity	Botanical Name	Common Name	Root	Scheduled Size	Spacing	Comments	
15	Acer palmatum	JAPANESE MAPLE	B&B	12'-9" cal.	10' o.c.		
6	Ilex latifolia	LUSTERLEAF HOLLY	B&B	6'-6" ht.	4' o.c.	Matched	
7	Ilex x 'Nellie R. Stevens'	NELLIE R. STEVENS HOLLY	B&B	6'-10" ht.	2' o.c.	Matched, full to ground	
1	Taxodium distichum	BALD CYPRESS	B&B	10'-12" ht.	20' o.c.		
Shrubs							
Quantity	Botanical Name	Common Name	Root	Scheduled Size	Spacing	Comments	
134	Dryopteris erythrosora 'Brilliance'	AUTUMN FERN	Cont.	12"-15" spread	2' o.c.		
64	Hydrangea quercifolia	OAKLEAF HYDRANGEA	Cont.	18"-24" ht.	2' o.c.		
20	Asplenium floridanum	SHOWY JASMINE	Cont.	18"-24" spread	4' o.c.		
78	Rhododendron sp.	RHODODENDRON	Cont.	18"-24" ht.	4' o.c.	Evergreen, pale purple or white blooms	
Groundcovers, Ornamental Grasses & Turfgrass							
Quantity	Botanical Name	Common Name	Root	Scheduled Size	Spacing	Comments	
86	Parthenium virginicum	SWITCH GRASS	Cont.	3' gal.	2' o.c.	Full container	
132	Schizanthium scogarium	LITTLE BLUE STEM GRASS	Cont.	3' gal.	3' o.c.	Full container	
	Zoysia japonica x Zoysia tenuifolia	EMERALD ZOYSIA	Spd.			Wheat free	

② PLANTING SCHEDULE: RAIN GARDEN AREA

Trees							
Quantity	Botanical Name	Common Name	Root	Scheduled Size	Spacing	Comments	
3	Ilex x 'Nellie R. Stevens'	NELLIE R. STEVENS HOLLY	B&B	8'-10" ht.	7' o.c.	Matched, full to ground	
1	Nyssa sylvatica	BLACK GUM	B&B	3" cal.	15' o.c.		
1	Taxodium distichum	BALD CYPRESS	B&B	10'-12" ht.	20' o.c.		
Shrubs							
Quantity	Botanical Name	Common Name	Root	Scheduled Size	Spacing	Comments	
13	Hydrangea quercifolia	OAKLEAF HYDRANGEA	Cont.	18"-24" ht.	2' o.c.		
36	Asplenium floridanum	SHOWY JASMINE	Cont.	18"-24" spread	4' o.c.	Full container	
Groundcovers, Ornamental Grasses & Turfgrass							
Quantity	Botanical Name	Common Name	Root	Scheduled Size	Spacing	Comments	
365 SF	MIX 129 - Southern Wetland Meadow Mix	MIX 129 - SOUTHERN WETLAND MEADOW	Seed			Apply per manufacturer's instructions and to recommended density	
34	Schizanthium scogarium	LITTLE BLUE STEM GRASS	Cont.	3' gal.	3' o.c.	Full container	
	Zoysia japonica x Zoysia tenuifolia	EMERALD ZOYSIA	Spd.			Wheat free	

③ PLANTING SCHEDULE: DOG PARK PLANTING

Trees							
Quantity	Botanical Name	Common Name	Root	Scheduled Size	Spacing	Comments	
2	Ilex x 'Nellie R. Stevens'	NELLIE R. STEVENS HOLLY	B&B	8'-10" ht.	7' o.c.	Matched, full to ground	
4	Ternstroemia indica 'Natchez'	NATCHEZ GRASMERTILE	B&B	8'-10" ht.	20' o.c.	Matched, 3 bark min. min. 1.1/4" cal. per trunk	
2	Nyssa sylvatica	BLACK GUM	B&B	3" cal.	15' o.c.		
Shrubs							
Quantity	Botanical Name	Common Name	Root	Scheduled Size	Spacing	Comments	
3	Hydrangea quercifolia	OAKLEAF HYDRANGEA	Cont.	18"-24" ht.	2' o.c.		
19	Ilex missillana 'Blue Princess'	BLUE PRINCESS HOLLY	Cont.	24"-30" ht.	6' o.c.		
9	Asplenium floridanum	SHOWY JASMINE	Cont.	18"-24" spread	4' o.c.		
22	Ternstroemia ovnanthera	CLEVERA	Cont.	24"-30" ht.	2' o.c.		
Groundcovers, Ornamental Grasses & Turfgrass							
Quantity	Botanical Name	Common Name	Root	Scheduled Size	Spacing	Comments	
12	Parthenium virginicum	SWITCH GRASS	Cont.	3' gal.	2' o.c.	Full container	
45	Schizanthium scogarium	LITTLE BLUE STEM GRASS	Cont.	3' gal.	3' o.c.	Full container	
	Zoysia japonica x Zoysia tenuifolia	EMERALD ZOYSIA	Spd.			Wheat free	

④ PLANTING SCHEDULE: VEGETATIVE SCREENING

Shrubs							
Quantity	Botanical Name	Common Name	Root	Scheduled Size	Spacing	Comments	
33	Hydrangea quercifolia	OAKLEAF HYDRANGEA	Cont.	18"-24" ht.	2' o.c.		
29	Ilex missillana 'Blue Princess'	BLUE PRINCESS HOLLY	Cont.	18"-24" ht.	6' o.c.		
17	Myrica caroliniana	WAX MYRTLE	Cont.	3" cal.	6' o.c.		

PLANTING NOTES

- CONTRACTOR TO VERIFY ALL PLANT MATERIAL QUANTITIES AND PLANTING AREA DIMENSIONS PRIOR TO BEGINNING PLANTING. PROVIDE QUANTITIES AS REQUIRED TO MEET DESIGN INTENT.
- GRAFTED PLANT MATERIAL IS NOT ACCEPTABLE.
- DUE TO MODIFICATIONS MADE DURING CONSTRUCTION, SITE CONDITIONS MAY VARY FROM THOSE SHOWN. CONTRACTOR TO VERIFY ALL SUCH CONDITIONS TO HIS SATISFACTION. NO CHANGE IN CONTRACT PRICE WILL BE GRANTED FOR FAILURE TO OBSERVE THIS REQUIREMENT.
- THE CONTRACTOR SHALL, FOR HIS OWN PROTECTION, VERIFY THE PRESENCE AND LOCATION OF ALL UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION.
- PAINT ALL BEelines LANDSCAPE ARCHITECT'S ON-SITE REVIEW AND APPROVAL PRIOR TO BEGINNING PLANTING OPERATIONS.
- ALL PLANTED AREAS SHALL RECEIVE 3" OF CLEAN PINE STRAW TO A DEPTH OF 3" AFTER SETTLING.
- PLANTED SLOPES GREATER THAN 3:1 TO RECEIVE PINE STRAW MULCH TO 3" DEPTH AFTER SETTLEMENT.
- ALL SHRUB AREAS SHALL RECEIVE TOPSOIL TO A MINIMUM DEPTH OF 8". ALL SODDED AREAS SHALL RECEIVE TOPSOIL TO A MINIMUM DEPTH OF 4", UNLESS DIRECTED OTHERWISE.
- FERTILIZATION SCHEDULE: AMEND PLANTING MIX OF EACH PLANT WITH FERTILIZER AS FOLLOWS:

PLANTING	AMOUNT PER PLANT	TYPE
#1 POT	1/4 CUP	6-12-12 OR 5-10-10
#2 POT	1/2 CUP	6-12-12 OR 5-10-10
#3 POT	3/4 CUP	6-12-12 OR 5-10-10
- FLOWERING SHADE TREE 1 CUP PER 1/2" CAL. 6-12-12 OR 5-10-10
- REMOVE ALL CONSTRUCTION DEBRIS AND BASE MATERIAL FROM PLANTING BEDS, ISLANDS, ETC. AND LEAVE READY FOR TOPSOIL PLACEMENT AND PLANTING. CONFIRM ADEQUATE DRAINAGE IN ALL PLANTING AREAS. NOTIFY LANDSCAPE ARCHITECT OF UNSATISFACTORY CONDITIONS.
- NO PLANT MATERIAL WILL BE SET WITH ROOT CROWN LOWER THAN SURROUNDING GRADE. SET TREES WITH ROOT CROWN 2" TO 4" ABOVE SURROUNDING GRADE. SET SHRUBS WITH ROOT CROWN 1" TO 2" ABOVE SURROUNDING GRADE.

GENERAL NOTES

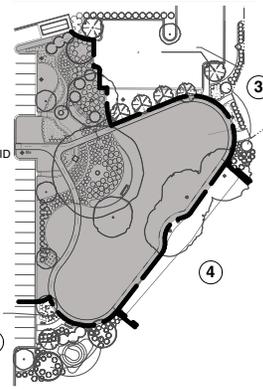
- THOROUGHLY CLEAN VEGETATIVE SCREENING AREA - CLEAR OF WEEDS, BRUSH, LIMBS, INVASIVE SPECIES, DEAD TREES AND SHRUBS, FALLEN LIMBS, LEAF LITTER, STUMPS, ETC. LIMB UP TREES OF ANY LOW-HANGING LIMBS.
- REMOVE ALL CONSTRUCTION DEBRIS AND BASE MATERIAL FROM PLANTING BEDS, ISLANDS, SOD AREAS, ETC. AND REMOVE, ADD TOPSOIL, AND REGRADE AS NECESSARY.
- CONFIRM ADEQUATE DRAINAGE IN ALL PLANTING AREAS. NOTIFY LANDSCAPE ARCHITECT OF UNSATISFACTORY CONDITIONS.

FURNITURE PACKAGE

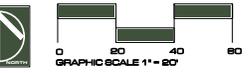
- DUMOR PRODUCTS:
 - (2) BENCHES - DUMOR BENCH 119 FOREST GREEN
 - (2) RECEPTACLE - DUMOR STEEP RECEPTACLE 84-32 FOREST GREEN
 - (2) FOR DUMOR PRODUCTS, CONTACT JIM GIFFEN EMAIL: giffenm@aol.net PHONE: (404) 982-6233
- BIRCHLANE PRODUCTS
 - (1) DEER PARK 4 PIECE SOFA SEATING GROUP, FRAME FINISH: WEATHERED ACORN
 - FOR BIRCHLANE PRODUCTS, VISIT www.birchlane.com/outdoor
- OLD TOWN FIBERGLASS PRODUCTS
 - (1) PLANTER - HERMOSA CYLINDER 36" PLANTER HR3636 WITH DRAIN - BEIGE 01
 - FOR OLD TOWN FIBERGLASS PRODUCTS, CONTACT KEN ERDOES
 - EMAIL: kerdoes@adsreps.com PHONE: (404)-367-0400
- DOG WASTE DEPOT PRODUCTS
 - (1) DOG WASTE STATION w/ONEpail BAG SYSTEM - DEPOT-022: COLOR-BLACK
 - FOR DOG WASTE DEPOT PRODUCTS, VISIT www.dogwastedepot.com



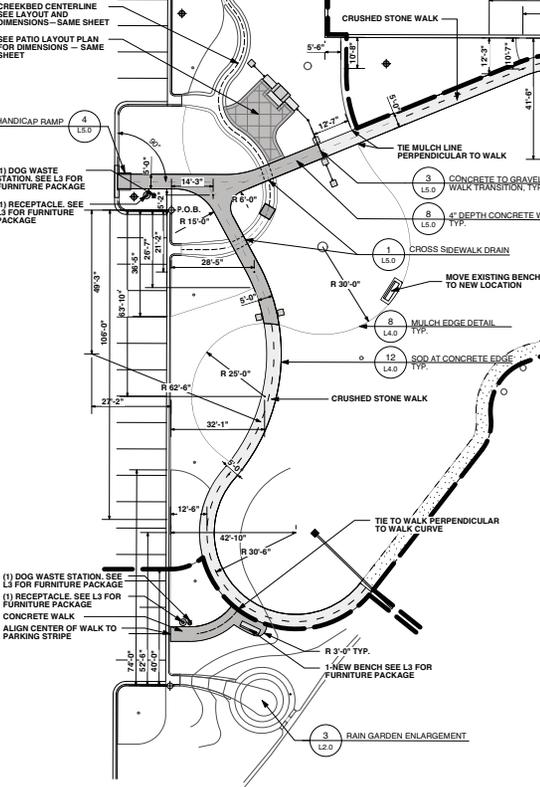
PLANTING AREA LEGEND



- CRUSHED STONE WALK
- 2-NEW BENCHES
- 34-LITTLE BLUE STEM GRASS
- 3-NELLIE R. STEVENS HOLLY
- 1-BLACK GUM
- MIX 129 - SOUTHERN WETLAND MEADOW MIX BY ROUNDSTONE SEED
- INCLUDE NURSE CROP.
- 2-BALD CYPRESS
- 15-OAKLEAF HYDRANGEA
- 36-SHOWY JASMINE
- 800
- RAIN GARDEN AREA

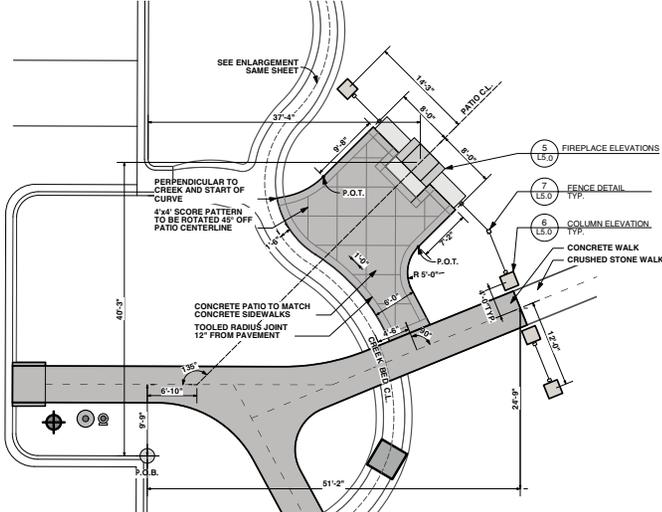


1 LAYOUT PLAN
SCALE: 1" = 20'

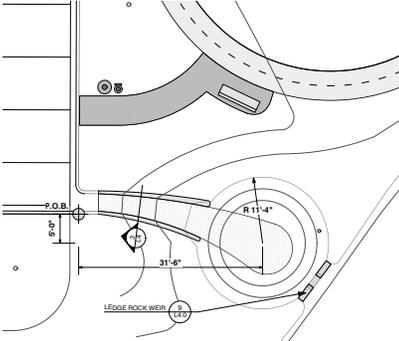


NOTE: TOPCOAT ALL NEW GRAVEL WALKS WITH 4" OF #810 STONE AND TOP DRESS ALL EXISTING GRAVEL WALKS WITH 2" OF #810 STONE.

2 PATIO LAYOUT PLAN
SCALE: 1/8" = 1'-0"

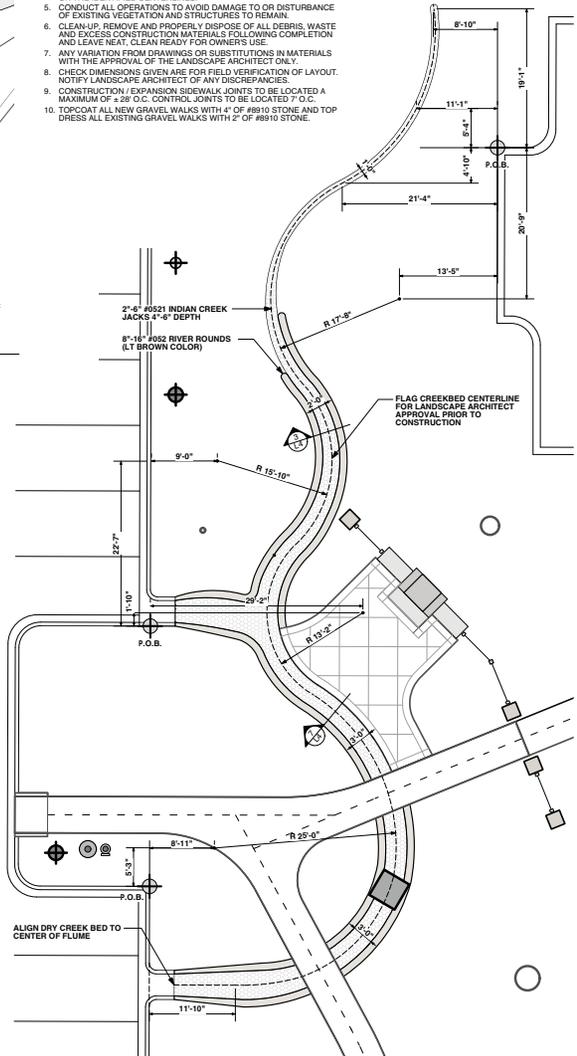


3 RAIN GARDEN ENLARGEMENT
SCALE: 1" = 10'-0"



NOTE: RAIN GARDEN TO HOLD WATER NO LONGER THAN 36 HOURS. CONTRACTOR TO PERFORM INFILTRATION TEST. REFER TO LOW IMPACT DEVELOPMENT HANDBOOK FOR THE STATE OF ALABAMA PAGE 146. IF RESULTS ARE GREATER THAN 36 HOURS, NOTIFY LANDSCAPE ARCHITECT.

4 DRY CREEK BED LAYOUT
SCALE: 1/8" = 1'-0"



LAYOUT & MATERIALS NOTES

1. ALL WORK WILL CONFORM TO ALL LOCAL, COUNTY AND STATE CODES AND REGULATIONS. OBTAIN ALL CONSTRUCTIONS, LICENSES, ETC. REQUIRED FOR EXECUTION OF WORK.
2. THE CONTRACTOR SHALL, FOR HIS OWN PROTECTION, VERIFY THE PRESENCE AND LOCATION OF ALL UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION.
3. LOCATE UTILITIES PRIOR TO ALL EXCAVATIONS, INCLUDING TREE PITS.
4. LAYOUT WORK AND VERIFY ALL DIMENSIONS PRIOR TO ACTUAL CONSTRUCTION. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BEFORE CONTINUING WORK. CONTRACTOR RESPONSIBLE FOR STAKING SITE LAYOUT, GRADES, AND LIMIT OF WORK. THE WORK SHALL BE STAKED BY A LICENSED SURVEYOR. DIMENSIONS ARE GIVEN FROM BACK OF CURB, FACE OF STRUCTURE, OR THE IDENTIFIED CENTERLINES.
5. CONDUCT ALL OPERATIONS TO AVOID DAMAGE TO OR DISTURBANCE OF EXISTING VEGETATION AND STRUCTURES TO REMAIN.
6. CLEAN-UP, REMOVE AND PROPERLY DISPOSE OF ALL DEBRIS, WASTE AND EXCESS CONSTRUCTION MATERIALS FOLLOWING COMPLETION AND LEAVE NEAT, CLEAN READY FOR OWNERS USE.
7. ANY VARIATION FROM DRAWINGS OR SUBSTITUTIONS IN MATERIALS WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT ONLY.
8. CHECK DIMENSIONS GIVEN ARE FOR FIELD VERIFICATION OF LAYOUT. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
9. CONSTRUCTION / EXPANSION SIDEWALK JOINTS TO BE LOCATED A MAXIMUM OF 25' O.C. CONTROL JOINTS TO BE LOCATED 7' O.C.
10. TOPCOAT ALL NEW GRAVEL WALKS WITH 4" OF #810 STONE AND TOP DRESS ALL EXISTING GRAVEL WALKS WITH 2" OF #810 STONE.



LAYOUT PLAN
LANE PARKE
AMENITY SPACE
1000 LANE PARKE COURT - MOUNTAIN BROOK, ALABAMA



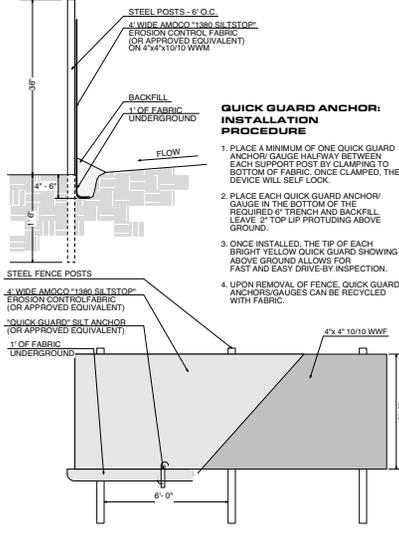
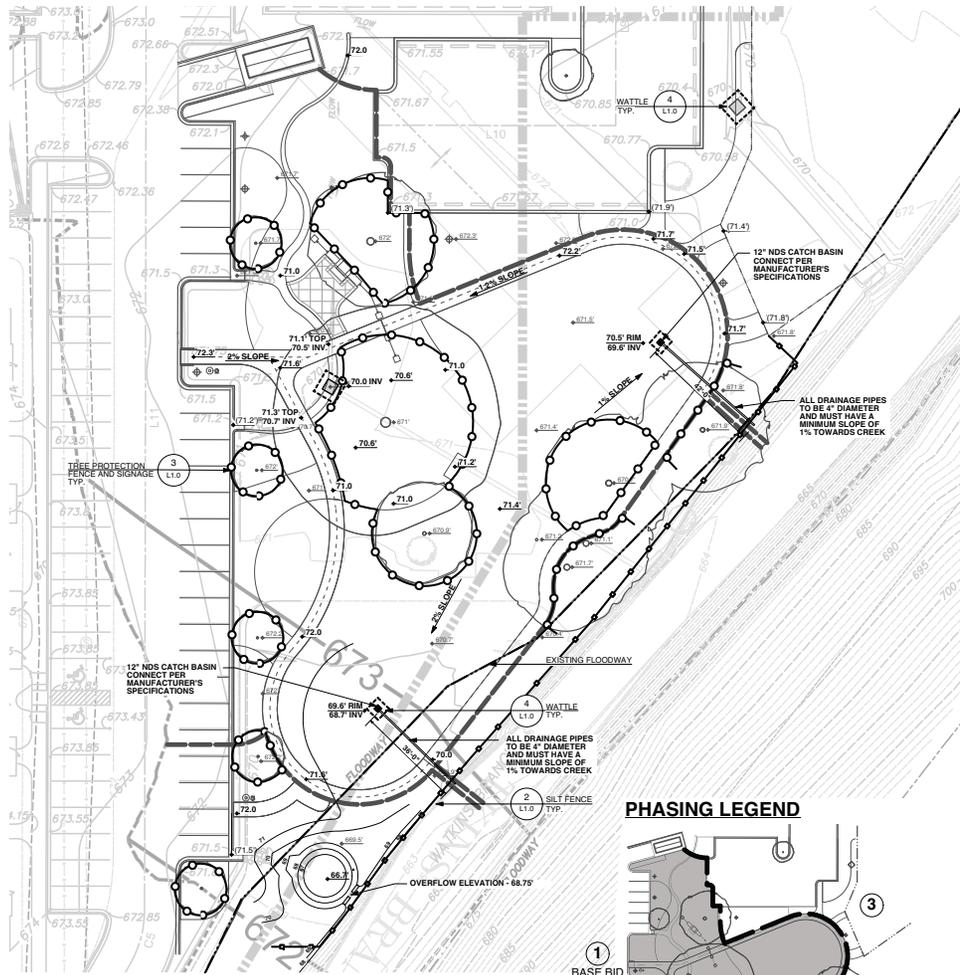
REVISIONS:

NO.	DATE	DESCRIPTION

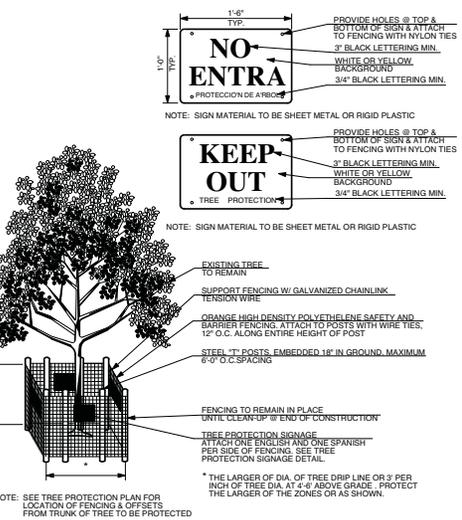
SHEET TITLE:
LAYOUT PLAN

SCALE: 1" = 20' **DATE:** 12/12/23

PROJECT:
L2
2 OF 5



2 SILT FENCE SECTION AND ELEVATION
NOT TO SCALE



3 TREE PROTECTION FENCE AND SIGNAGE
NOT TO SCALE

EROSION CONTROL NOTES

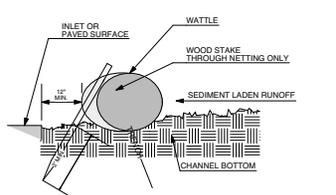
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MONITORING, INSPECTIONS, ETC. TO ENSURE THAT THE OWNER IS AT ALL TIMES IN COMPLIANCE WITH ADEM RULES AND REGULATIONS.
- EROSION CONTROL PLAN IS PROVIDED FOR SITE IN NEAR-FINISHED STATE. MOST MEASURES SHOWN ARE APPROPRIATE FOR DURATION OF PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR PHASING EROSION CONTROL MEASURES, INCLUDING ADDING ADDITIONAL MEASURES AS NECESSARY TO PROTECT THE SITE AND ADJACENT PROPERTY THROUGH DURATION OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR MONITORING DOWNSTREAM CONDITIONS AND CLEARING ANY DEBRIS OR SEDIMENT CAUSED BY CONSTRUCTION.
- GRASSING TO BEGIN 3 DAYS AFTER COMPLETION OF LAND DISTURBANCE ACTIVITY, OR IF ACTIVITY IS DISCONTINUED FOR A PERIOD OF 7 DAYS.
- DURING UNSUITABLE GROWING SEASON, MULCH SHALL BE USED AS TEMPORARY COVER, ON ANY SLOPES 3:1 OR STEEPER. MULCH SHALL BE ANCHORED.
- NO BUILDING MATERIALS WILL BE BURIED OR DISPOSED OF ON SITE. ALL SUCH MATERIAL SHALL BE REMOVED AND DISPOSED OF IN A LEGAL, PROPER LANDFILL OR RECYCLING FACILITY.
- CONTRACTOR SHALL MITIGATE ANY OIL OR PETROLEUM LEAKS OR SPILL THAT OCCUR ON OR OFF SITE. ALL EARTHMOVING AND/OR CONSTRUCTION EQUIPMENT WILL BE PARKED IN A COMMON AREA WHEN NOT IN USE. AS FAR FROM ANY WATERWAYS AS POSSIBLE. AREA SHALL BE CHECKED DAILY IF ANY LEAKS OR SPILL ARE NOTICED. CONTAMINATED SOIL SHALL BE COLLECTED IN A LEAK-PROOF VESSEL AND DISPOSED OF PER ALABAMA HAZARDOUS WASTE MANAGEMENT CODE (A.A. 12-8-65). ALL SPILLS AND REMEDIATION SHALL BE DOCUMENTED.
- MINIMUM OF ONE SANITARY UNIT TO BE PROVIDED FOR EVERY TEN (10) WORKERS ON THE SITE. SANITARY WASTE SHALL BE COLLECTED A MINIMUM OF ONE TIME PER WEEK BY A LICENSED PORTABLE PUMP/PLANT. PROVIDED IN COMPLIANCE WITH FEDERAL AND LOCAL REGULATIONS. ALL SANITARY UNITS SHALL BE LOCATED IN AN AREA WHERE THE RISK OF THE UNIT CONTRIBUTING TO STORMWATER DISCHARGE IS NEGLIGIBLE. ADDITIONAL BMPs (GRAVEL BAGS, PLASTIC SLD CONTAINERS, ETC.) SHALL BE IMPLEMENTED TO PREVENT WASTES FROM CONTRIBUTING TO STORMWATER DISCHARGE.

DRAINAGE NOTES

- CONTRACTOR TO GRADE SITE AS SHOWN. LANDSCAPE ARCHITECT OBSERVED SIGNIFICANT CONSTRUCTION DEBRIS WITHIN SOD AREAS. UNSUITABLE MATERIAL TO BE REMOVED FROM SITE. IMPORT SUITABLE MATERIAL AS REQUIRED.
- TEMPORARY WATTLE TO BE INSTALLED AROUND EACH STORM SEWER INLET IN A MANNER THAT WILL INSURE NO MUD, SILT, OR DEBRIS WILL FLOW THROUGH STORM SEWER SYSTEM. THESE EROSION AND SEDIMENTATION CONTROLS SHALL BE IN PLACE AND MAINTAINED UNTIL INSTALLATION OF SOD UNTIL COMPLETION OF PLANTING AND MULCHING.
- SHOULD ANY MUD, SILT, OR DEBRIS BE WASHED ON OR IN TO ANY ADJACENT PROPERTY, STREET OR STORM SEWER, CONTRACTOR IS TO REMOVE SUCH AT ONCE.
- CONTRACTOR SHALL MAINTAIN "BEST MANAGEMENT PRACTICES" AND ADHERE TO RECOMMENDATIONS AS OUTLINED IN U.S. DEPARTMENT OF TRANSPORTATION REPORT NO. FHWA-FLP-94-005 "BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROL".
- ALL CONSTRUCTION MATERIALS STORED ON SITE THAT MAY CONTAIN POLLUTANTS, SHALL BE STORED IN COVERED AREAS THAT WILL NOT ALLOW POLLUTANTS TO ESCAPE. ALL SUCH MATERIAL SHALL BE REMOVED FROM SITE AT THE END OF CONSTRUCTION AND BE DISPOSED OF ACCORDING TO APPLICABLE ORDINANCES.
- MAXIMUM CROSS SLOPE ON ANY WALK/PLAZA IS 2.0%.
- CONTRACTOR RESPONSIBLE TO FINE GRADE SUCH THAT POSITIVE DRAINAGE IS MAINTAINED ON ALL SURFACES AT ALL TIMES.
- AT NO POINT DURING CONSTRUCTION SHOULD ANY MATERIAL BE ADDED INSIDE THE FLOODWAY.

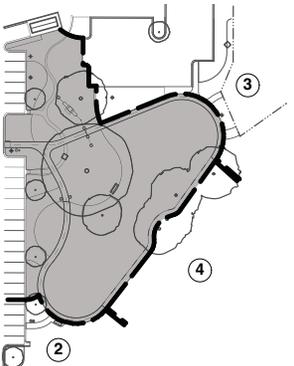
GENERAL NOTES

- CONTRACTOR TO PRICE EACH PHASE OF WORK SEPARATELY.
- AS WORK IS REQUIRED WITHIN TREE PROTECTION ZONES, CONTRACTOR TO LIMIT DISTURBANCE AS MUCH AS POSSIBLE.



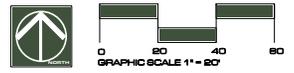
4 INLET PROTECTION / WATTLE
NOT TO SCALE

PHASING LEGEND



NOTE: CONTRACTOR TO PRICE EACH PHASE OF WORK SEPARATELY.

1 GRADING / DRAINAGE / TREE PROTECTION EROSION CONTROL PLAN
SCALE: 1" = 20'



HNP
landscape architecture
1814 26th Avenue South
Birmingham, Alabama 35260
PH: 205.873.8899
FX: 205.871.9974

GRADING / DRAINAGE / TREE PROTECTION EROSION CONTROL PLAN
LANE PARKE AMENITY SPACE
1000 LANE PARKE COURT - MOUNTAIN BROOK, ALABAMA



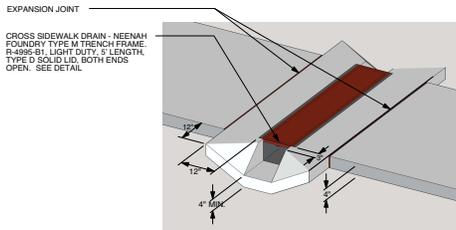
REVISIONS:

NO.	DATE	DESCRIPTION

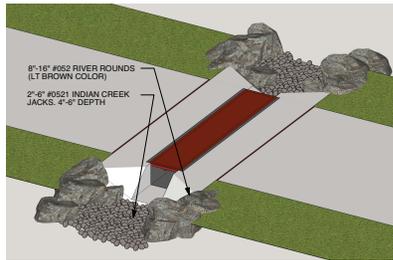
SHEET TITLE:
GRADING
DRAINAGE
TREE PROTECTION
EROSION CONTROL PLAN

SCALE: 1"=20'	DATE: 01/15/23
DESIGNER: [Name]	CHECKER: [Name]
DRIVER: [Name]	DATE: 01/15/23

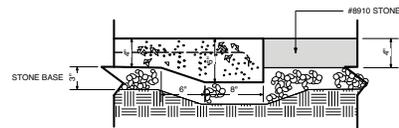
L1
1 OF 5



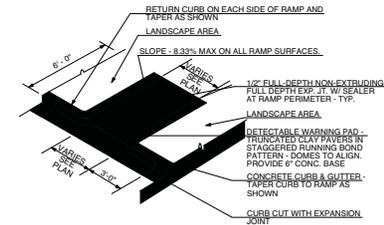
1 CROSS SIDEWALK DRAIN
NOT TO SCALE



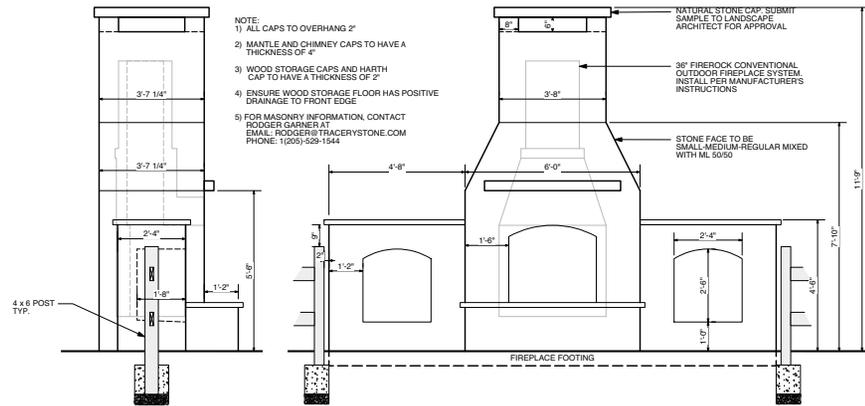
2 CROSS SIDEWALK DRAIN WITH DRY CREEK BED
NOT TO SCALE



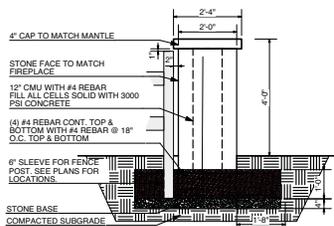
3 CONCRETE TO GRAVEL WALK TRANSITION
SCALE: 1 1/2" = 1'-0"



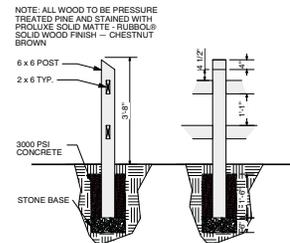
4 HANDICAP RAMP
NOT TO SCALE



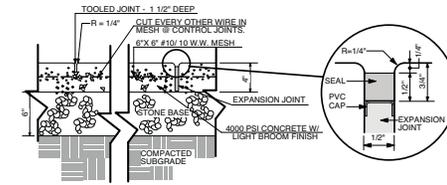
5 FIREPLACE FRONT AND SIDE ELEVATION
SCALE: 1/2" = 1'-0"



6 COLUMN ELEVATION
SCALE: 1/2" = 1'-0"



7 FENCE DETAIL
SCALE: 1/2" = 1'-0"



8 4" DEPTH CONCRETE WALK
SCALE: 1 1/2" = 1'-0"

NOTES:

ALL CONCRETE TO MATCH OTHER EXISTING CONCRETE COLOR ON SITE

PROVIDE 1/2" WIDE, FULL DEPTH NON-EXTRUDING EXPANSION JOINTS WITH SEAL, 30" O.C. EXPANSION JOINTS REQUIRED WHERE SIDEWALK ABUTS ANY OTHER CONCRETE OR MASONRY STRUCTURE.



HNP
landscape architecture

1814 28th Avenue South
Birmingham, Alabama 35208

Phone: 205.870.8888
Fax: 205.871.8974

PLANTING PLAN
LANE PARKE
AMENITY SPACE
1000 LANE PARKE COURT - MOUNTAIN BROOK, ALABAMA



REVISIONS:

SHEET TITLE:

FIREPLACE ELEVATION, COLUMN ELEVATION, AND DETAILS

SCALE: DWG. 3/1

DATE: 10/12/10

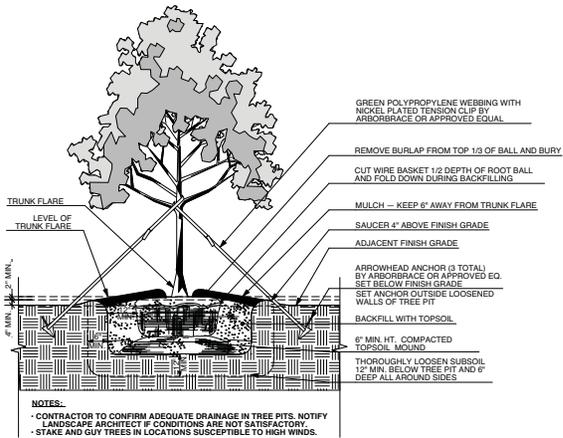
CHK: SH

SHEET

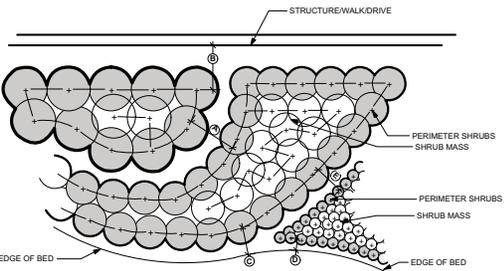
L5

SEQUENCE 5 OF 5

PROJECT NO.: C19031

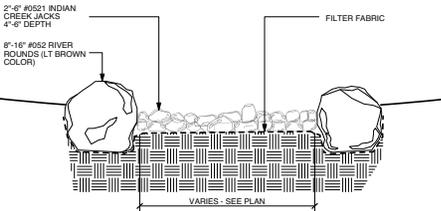


1 B&B TREE PLANTING DETAIL
NOT TO SCALE

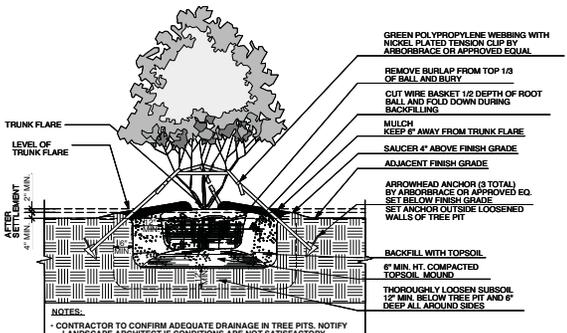


- ① SHRUB TO SHRUB ————— LARGEST SPACING BETWEEN TWO DIFFERENT SPECIES OF ADJACENT SHRUBS + 6" (6x 4" O.C. NEXT TO 3" O.C. SPACING EQUALS 4'-6")
 - ② SHRUB TO STRUCTURE/WALK/DRIVE — SHRUB SPACING + 6" (EXAMPLE - 4'-6" FOR 4" O.C.) IN NO CASE LESS THAN 4"
 - ③ SHRUB TO BED LINE ————— 1/2 SHRUB SPACING + 1 FOOT (EXAMPLE - 30" FOR 3" O.C.)
 - ④ GROUND COVER TO BED LINE ————— GROUND COVER SPACING (EXAMPLE - 1 FOOT FOR 1" O.C.)
 - ⑤ SHRUB TO GROUND COVER ————— 1/2 SHRUB SPACING + SPACING OF GROUND COVER
- NOTE:
LAYOUT PERIMETER SHRUBS OF SHRUB MASS FIRST AT DESIGNATED SPACING.
INFILL SHRUB MASS AS CLOSE TO GIVEN SPACING AS POSSIBLE. ADJUSTING SPACING UP OR DOWN AS REQUIRED.

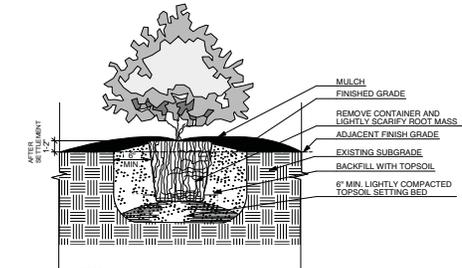
2 PLANT LAYOUT FOR FREE FORM MASSES
NOT TO SCALE



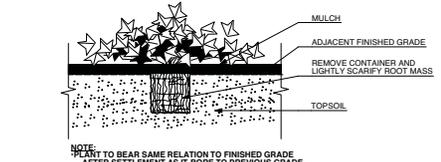
3 DRY CREEK BED SECTION
NOT TO SCALE



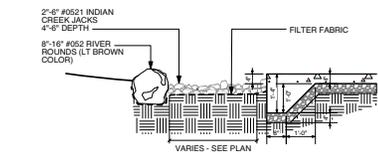
4 MULTI-TRUNK TREE PLANTING DETAIL
NOT TO SCALE



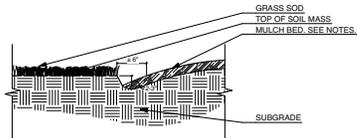
5 CONTAINER SHRUB PLANTING DETAIL
NOT TO SCALE



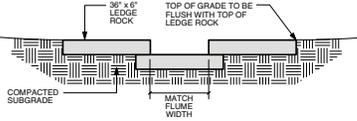
6 GROUND COVER PLANTING DETAIL
NOT TO SCALE



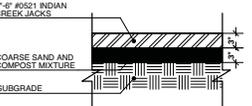
7 CREEK BED - PATIO EDGE
SCALE: 1/2" = 1'-0"



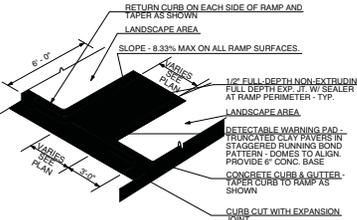
8 MULCH EDGE DETAIL
NOT TO SCALE



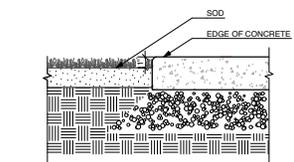
9 LEDGE ROCK WEIR
SCALE: 1/2" = 1'-0"



10 RAIN GARDEN SECTION
SCALE: 1" = 1'-0"



11 HANDICAP RAMP
NOT TO SCALE



12 SOD AT CONCRETE EDGE
NOT TO SCALE

REVISIONS:

NO.	DATE	BY	DESCRIPTION

SHEET TITLE:
DETAILS

SCALE: DRAW: JT DATE: 10/12/12 DESK: SH

SHEET
L4
SEQUENCE 4 OF 5
PROJECT NO.: C1803













V-18-13 (Retail Phase 2)



DESIGN REVIEW/ SIGN APPLICATION

City of Mountain Brook
 Building, Planning, & Sustainability
 56 Church St, Mountain Brook, AL 35213
 (205) 802-3830 ♦ Fax (205) 879-6913

Review by the Mountain Brook Village Design Review Committee is mandatory. Application and all supplemental documentation must be received no later than fourteen (14) business days prior to scheduled meeting to be placed on agenda. Applicants, owners, and/or tenants are strongly encouraged to appear before the Committee on behalf of their application.

1. Job Site Location:

Business Name: Lane Parke

Address: Park Lane and Culver Road

2. Property Owner:

Name: John Evans

Email: john@evsoninc.com

Phone: 205-960-4428

3. Applicant:

Name: Jeff Slaton

Mailing Address: Goodwyn, Mills & Cawood, 2701 1st Avenue S.

City/State/Zip: Birmingham AL 35233

Phone: 205-949-3922

Email: jeff.slaton@gmcnetwork.com

Signature:

4. Contractor Information:

Company Name: HOAR

Mailing Address: 1101 11th Ave S

City/State/Zip: Birmingham, AL 35205

Phone: 205-868-3975

Bus. License No: 18009420

(for the City of Mountain Brook)

Print Name: Shane Wilson

Email: SWilson@HOAR.com

Office Use Only - Permits

Permit No: _____

Date Issued: _____

Permitted Amount: _____

Office Use Only - Design Review

Approved

Approved w/ Conditions

Denied

Clerk: _____

Date: _____

Category of Construction

Awning

Facade

Window

Ground

Directory

Roof

Projecting

Door

Directional

Sign Information

Job Description: Phase 2 of Lane Parke: new retail construction to replace existing Mountain Brook Shopping Center, to comply with approved Lane Parke PUD.

Permit fees are based on the value of the work performed. Indicate the value (round to the nearest dollar) of all equipment, materials, labor, overhead, and the profit for the work indicated on this application.

Valuation: \$ _____

Number of Proposed Sign(s): _____

Existing Sign Information

Please calculate the total square footage of all existing signs on site. Refer to our sign ordinance for categorical clarification.

Square feet of Signs: N/A

Square feet of Incidental Signs: _____

Property Owner Signature

This installation is being made on commercial property owned by me or a member of my immediate family.

Signature:

Is this property subject to a master sign plan, which has been approved by the Design Review Committee?

Yes

No

Applications may be obtained online at www.mtnbrook.org.

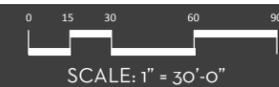
Look under Departments > Planning > Helpful Links. Please fill out all information below.

V-18-13 (Retail Phase 2)



PLANT SCHEDULE					
TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT.	CAL.	SIZE
	RB	Betula nigra / River Birch	15 gal	3"	
	YH	Ilex vomitoria / Yaupon Holly	B & B	12 HT.	Multi-Trunk
	FH	Ilex x attenuata 'Fosteri' / Foster's Holly	B & B		6-8' H
	ATP	Liriodendron tulipifera 'Arnold' / Arnold Tulip Poplar	B & B	3.5"	Clear Trunk
	SM	Magnolia grandiflora / Southern Magnolia	B & B		
	SB	Magnolia virginiana / Sweet Bay Magnolia	B & B	2.5"	
	BG	Nyssa sylvatica 'Wildfire' / Black Gum	B & B	3.5"	
	OO	Quercus lyrata / Overcup Oak	B & B	2.5"	
	NO	Quercus nuttallii / Nuttall Oak	B & B	2.5"	
	BC	Taxodium distichum / Bald Cypress	B & B		
	AE	Ulmus americana / American Elm	B & B		
	BE	Ulmus parvifolia 'Bosque' / Bosque Elm	B & B		
SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	SIZE	SIZE	
	CF	Ficus pumila / Creeping Fig	3 gal		
	DF	Fothergilla gardenii 'Suzanne' / Dwarf Fothergilla	3 gal		
	PW	Hydrangea quercifolia 'Pee Wee' / Oakleaf Hydrangea	3 gal		
	HS	Hydrangea quercifolia 'Snowflake' TM / Snowflake Oakleaf Hydrangea	3 gal		
	CH	Ilex cornuta 'Carissa' / Carissa Holly	3 gal		
	NPH	Ilex cornuta 'Needlepoint' / Needlepoint Holly	3 gal		
	DY	Ilex vomitoria 'Nana' / Dwarf Yaupon	3 gal		
	DWM	Myrica cerifera 'Don's Dwarf' / Don's Dwarf Wax Myrtle	3 gal		
	BI	Parthenocissus tricuspidata 'Robusta' / Boston Ivy	4' pot		

PLANT SCHEDULE				
GROUND COVERS	CODE	BOTANICAL NAME / COMMON NAME	CONT.	SPACING
	SBL	Liriope muscari 'Super Blue' / Super Blue Liriope	1 gal	18" o.c.
	PM	Muhlenbergia capillaris / Pink Muhly	Plugs	18" o.c.
	LBG	Schizachyrium scoparium / Little Bluestem Grass	plugs	18" o.c.
	AJ	Trachelospermum asiaticum / Asian Jasmine	1 gal	18" o.c.
	EZ	Zoysia japonica 'Emerald' / Emerald Zoysia	sod	



V-18-13 (Retail Phase 2)

Board of Landscape Design comments regarding Lane Parke, Phase II, Landscape Plan February 20, 2018

1. The Board is assigning a tree to each village. The American Elm tree is assigned to Crestline Village; Mountain Brook Village's tree is the Oak. Replace the American Elms in Lane Parke with Oak trees, if there is space, or Green Ash. **Yes, oaks have been used when there is adjacent space.**
2. Consider replacing Chinese Pistache with Red Maple. Ms. Ross commented that the Red Maple is not long-lived in the urban setting. She will research an option. **We do not regularly use Red Maples in the urban setting. We have replaced the Chinese Pistache with American Elm due to limited space.**
3. Use large trees, rather than medium height trees, for canopy. **Many large Oak trees are planted throughout the design to create a canopy.**
4. Issue of Black Gum trees in the parking lot area; messy. **Black Gum is a valued native tree highly tolerant of urban conditions and has great seasonal color. It would be prudent to keep this beautifully structured tree.**

Village Design Review Committee comments February 21, 2018

Regions landscaping – stand alone.

Screening nature – Sweet Bay – service area – maybe add another in that area. **Additional Foster Holly has been added.**

Tree canopy to be decided before continuing with under canopy.

Two Yaupon Trees, by the American Elms on Rele Street, do not seem to be doing well in the location. Consider replacing. Yaupon by Midici is drooping.

V-18-13 (Retail Phase 2)



PLANT SCHEDULE						
TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT.	CAL.	NOTES	MATURE SIZE HT x SP
	BE	Ulmus parvifolia 'Bosque' / Bosque Elm	B & B			50' x 30'
	RB	Betula nigra / River Birch	15 gal	3'		35' x 20'
	AE	Ulmus americana 'Princeton' / American Elm	B & B			60' x 30'
	BC	Taxodium distichum / Bald Cypress	B & B			80' x 30'
	CP	Pistacia chinensis / Chinese Pistache	B & B			25' x 25'
	ATP	Liriodendron tulipifera / Tulip Poplar	B & B	3.5'	Clear Trunk	80' x 30'
	SB	Magnolia virginiana / Sweet Bay	B & B	2.5'		40' x 15'
	BG	Nyssa sylvatica 'Wildfire' / Black Gum	B & B	3.5'		50' x 30'
	NO	Quercus nuttallii / Nuttall Oak	B & B	2.5'		70' x 40'
	GA	Fraxinus Pennsylvanica / Green Ash	B & B			50' x 30'
	SM	Magnolia grandiflora / Southern Magnolia	B & B			60' x 40'
	AM	Acer Rubrum 'Armstrong' / Armstrong Maple	B & B			60' x 15'
UNDERSTORY	CODE	BOTANICAL NAME / COMMON NAME	SIZE	SIZE	NOTES	MATURE SIZE HT x SP
	AB	Amelanchier x grandiflora 'Ballerina' / Serviceberry	B & B		10-12' H	20' x 15'
	PH	Crataegus viridis / Winterking Hawthorne	B & B	2.5'		20' x 20'
	YH	Ilex vomitoria / Yaupon Holly	B & B	12 HT.	Multi-Trunk	15' x 15'
	FH	Ilex x attenuata 'Fosteri' / Foster Holly	B & B	6'-8' HT.	FTG	25' x 12'
	EH	Caprinus Betulus 'Fastagata' / European Hornbeam	B & B	15'-15' HT.	5' Clear Trunk	40' x 30'
SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	SIZE	SIZE	NOTES	MATURE SIZE HT x SP
	KB	Buxus microphylla koreana / Korean Boxwood	1 gal			3' x 2'
	DF	Fothergilla gardenii 'Suzanne' / Dwarf Fothergilla	3 gal			3' x 3'
	LLH	Hydrangea paniculata 'Little Lime' / Little Lime Hydrangea	3 gal			3' x 3'
	OH	Hydrangea quercifolia 'Pee Wee' / Oakleaf Hydrangea	3 gal			6' x 4'
	CH	Ilex cornuta 'Carissa' / Carissa Holly	3 gal			3' x 3'
	NPH	Ilex cornuta 'Needlepoint' / Needlepoint Holly	3 gal			6' x 3'
	IH	Ilex glabra / Inkberry Holly	7 gal			4' x 5'
	DY	Ilex vomitoria 'Nana' / Dwarf Yaupon	3 gal			4' x 5'
	FTO	Osmanthus x fragrans / Fragrant Tea Olive	B & B	5'-6' HT.	FTG	8' x 4'
	CF	Ficus pumila / Creeping Fig	B & B			Vine
	BI	Parthenocissus tricuspidata / Boston Ivy	B & B			Vine



V-18-13 (Phase 2)



PLANTS CANOPY TREES



Green Ash



Black Gum



Chinese Pistache



Bosque Elm



River Birch



Sweetbay Magnolia



American Elm



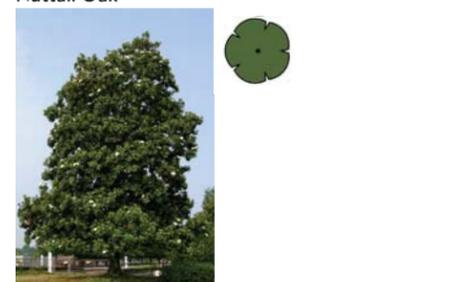
Bald Cypress



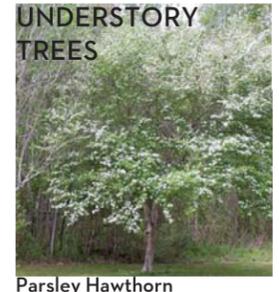
Tulip Poplar



Nuttall Oak



Southern Magnolia



Parsley Hawthorn



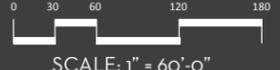
Treeform Yaupon



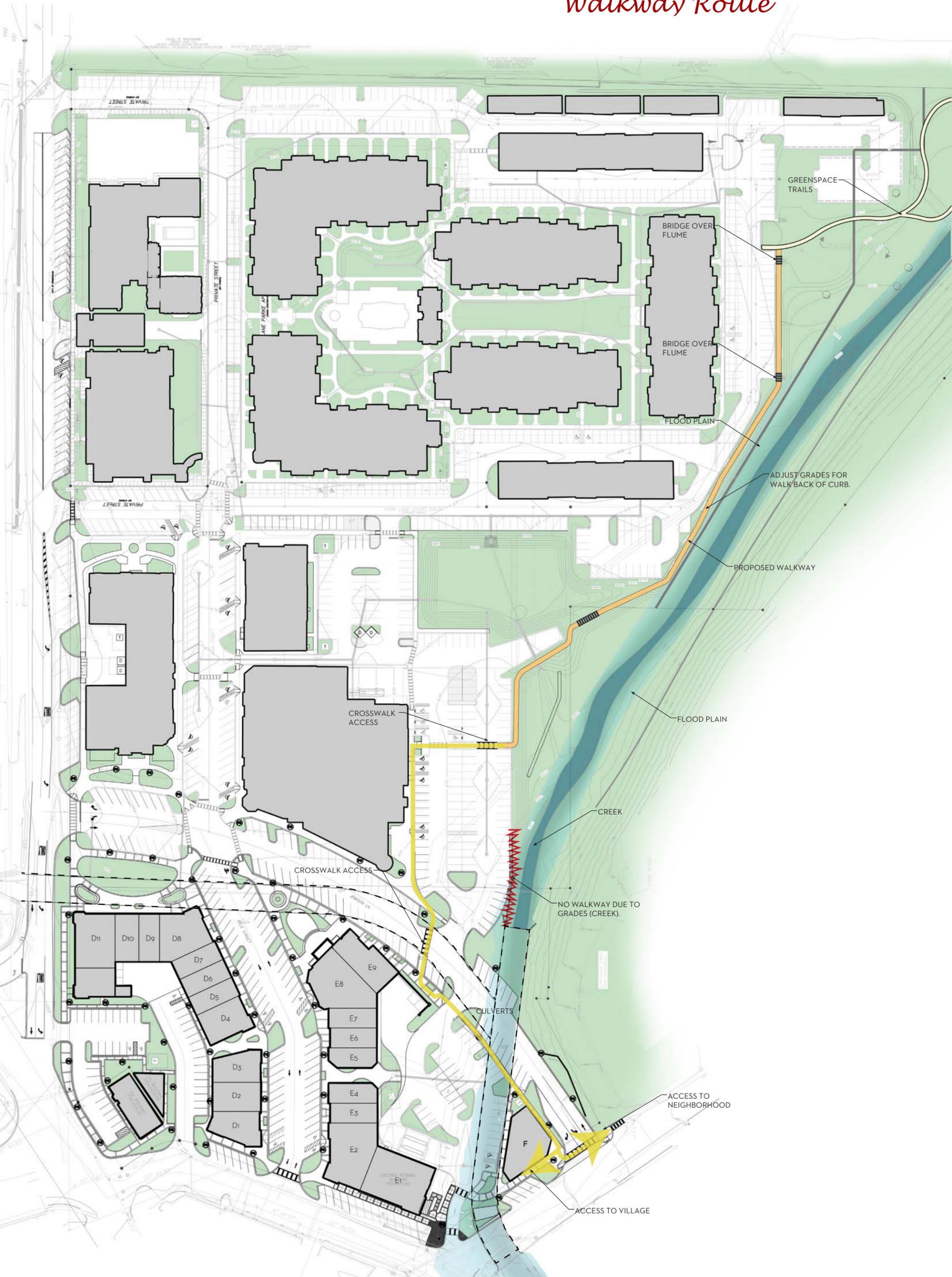
Foster Holly



Serviceberry



V-18-13 (Phase 2) Walkway Route





City of Mountain Brook
 Building, Planning, & Sustainability
 56 Church St, Mountain Brook, AL 35213
 (205) 802-3830 • Fax (205) 879-6913

Review by the Mountain Brook Village Design Review Committee is mandatory. Application and all supplemental documentation must be received no later than fourteen (14) business days prior to scheduled meeting to be placed on agenda. Applicants, owners, and/or tenants are strongly encouraged to appear before the Committee on behalf of their application.

1. Job Site Location:

Business Name: ALKMY

Address: 17 DEXTER AVE

2. Property Owner:

Name: ASHLEY SPOTSWOOD
 Email: AWSPOTSWOOD@MAC.COM
 Phone: 205 492-5017

3. Applicant:

Name: ASHLEY SPOTSWOOD
 Mailing Address: 17 DEXTER AVE
 City/State/Zip: BIRMINGHAM, AL 35213
 Phone: 205 492-5017
 Email: AWSPOTSWOOD@MAC.COM
 Signature: [Handwritten Signature]

4. Contractor Information:

Company Name: MEETING STREET GRAPHICS
 Mailing Address: 514 32ND STREET SOUTH
 City/State/Zip: BIRMINGHAM, AL 35233
 Phone: 205 458-0597
 Bus. License No: _____
 (for the City of Mountain Brook)
 Print Name: MARK HAAS
 Email: MARK@MEETING-STREETGRAPHICS.COM

Office Use Only - Permits

Permit No: _____
 Date Issued: _____
 Permitted Amount: _____
Office Use Only - Design Review
 Approved
 Approved w/ Conditions
 Denied
 Clerk: _____
 Date: _____

Category of Construction

<input type="checkbox"/> Awning	<input type="checkbox"/> Facade	<input type="checkbox"/> Window
<input type="checkbox"/> Ground	<input type="checkbox"/> Directory	<input type="checkbox"/> Roof
<input type="checkbox"/> Projecting	<input type="checkbox"/> Door	<input type="checkbox"/> Directional

Sign Information

Job Description:
 NEW SIGN ERECTED BETWEEN TWO EXISTING POST. ORIGINAL SIGN APPROVED BY OUR IN APRIL 2019. NEW SIGN WILL BE CONSTRUCTED OF METAL INSTEAD OF WOOD WITH THE BACKGROUND COLOR CHANGING FROM BLUE TO WHITE. NEW VERBAGE ADDED.

Permit fees are based on the value of the work performed. Indicate the value (round to the nearest dollar) of all equipment, materials, labor, overhead, and the profit for the work indicated on this application.
Valuation: \$2245.00

Number of Proposed Sign(s): 1

Existing Sign Information

Please calculate the total square footage of all existing signs on site. Refer to our sign ordinance for categorical clarification.

Square feet of Signs: 12

Square feet of Incidental Signs: _____

Property Owner Signature

This installation is being made on commercial property owned by me or a member of my immediate family.

Signature: [Handwritten Signature]

Is this property subject to a master sign plan, which has been approved by the Design Review Committee?

Yes

No

Applications may be obtained online at www.mountainbrook.org/bc-ydr.

V-20-02

Proposed new freestanding sign

The proposed signage totaling approximately 4.5 SF meets the requirements for the aggregate allowed per the sign ordinance. The new sign would replace a sign that was approved by VDR (V-19-08) in April 2019. The new sign will be metal instead of wood with the background color changing from blue to white as well as a change in the font. The new sign will have aluminum brass finished letters instead of painted wood.

- **Project Data:**

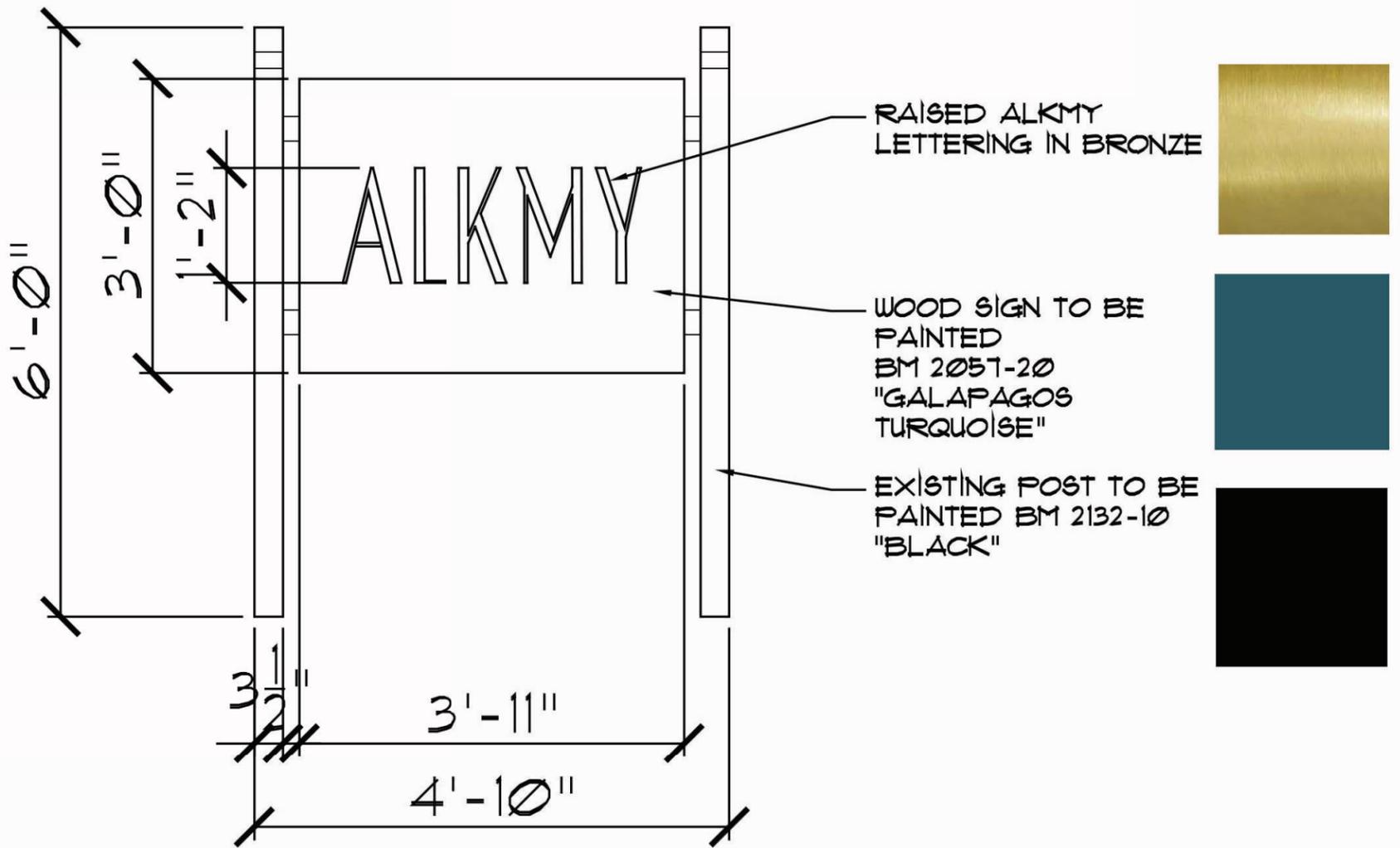
NAME: Alkmy

CURRENT ZONING: Local Business District

OWNER: Ashley Spotswood

LOCATION: 17 Dexter Ave

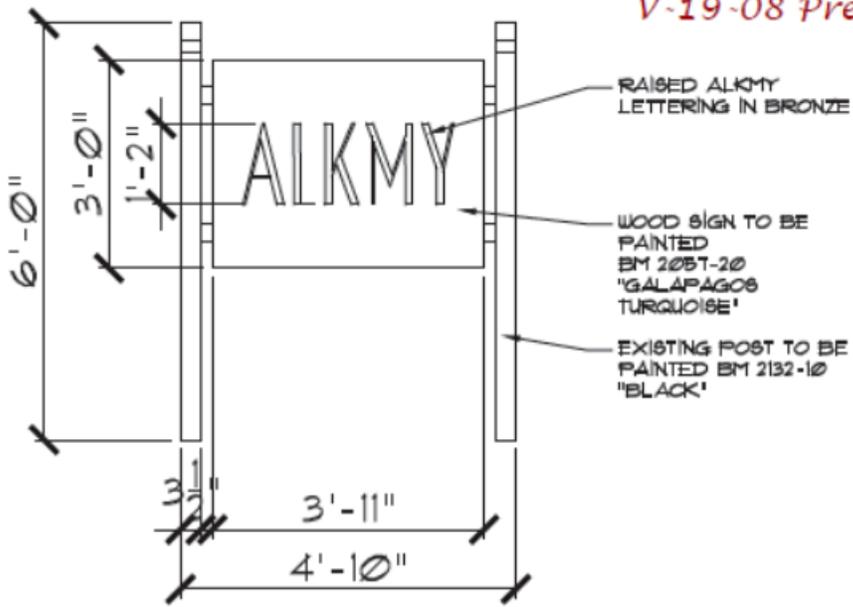
V-19-08 Previously Approved



1 SIGN ELEVATION
SCALE: 1/2" = 1'-0"

ALKMY

V-19-08 Previously Approved



1 SIGN ELEVATION
SCALE: 1/2" = 1'-0"



2" thick PVC sign panel with 1/2" thick dimensional logo painted dark bronze metallic (double-sided)

V-20-02 Proposed

ALKMY

INTERIORS • GIFTS • ANTIQUES

17 DEXTER AVENUE



ACM Sign Proof: Double Sided

3 Dimensional Logo

