

**MEETING AGENDA**  
**CITY OF MOUNTAIN BROOK**  
VILLAGE DESIGN REVIEW COMMITTEE  
12/18/2019  
PRE-MEETING: (ROOM A106) 7:30 A.M.  
REGULAR MEETING: (ROOM A108) 8:00 A.M.  
CITY HALL, 56 CHURCH STREET, MOUNTAIN BROOK, AL 35213

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1. Approval of Agenda
2. Approval of Minutes: 11/20/2019, Regular Meeting
3. Case **V-19-30**: Great American Cookies/Marble Slab Creamery – **2800 Cahaba Village Plaza, Suite 320**, New Item
4. Case **V-19-31**: Sol Y Luna – **920 Park Lane Court**, New Item
5. Case **V-19-32**: Carriage House Weddings – **201 Rele Street**, New Item
6. Next Meeting: 1/15/2020
7. Adjournment

# V-19-30

## Proposed new façade sign(s)

The proposed signage totaling 44.83 SF would need a variance from the Cahaba Village Master Sign Plan which only allows for one sign with an aggregate display area not to exceed two square feet for each linear foot of the front façade. The front façade for the subject location is 20.5 FT which would allow a maximum aggregate display area of 41 FT.

- **Project Data:**

NAME: Great American Cookies/Marble Slab Creamery

CURRENT ZONING: MXD

OWNER: Bayer Properties, LLC

LOCATION: 2800 Cahaba Village Plaza Suite 300



## DESIGN REVIEW/ SIGN APPLICATION

City of Mountain Brook  
 Building, Planning, & Sustainability  
 56 Church St, Mountain Brook, AL 35213  
 (205) 802-3830 ♦ Fax (205) 879-6913

Review by the Mountain Brook Village Design Review Committee is mandatory. Application and all supplemental documentation must be received no later than fourteen (14) business days prior to scheduled meeting to be placed on agenda. Applicants, owners, and/or tenants are strongly encouraged to appear before the Committee on behalf of their application.

### 1. Job Site Location:

Business Name: GREAT AMERICAN COOKIES/MARBLE SLAB CREAMERY  
 Address: 2800 CAHABA VILLAGE PLAZA, SUITE 320  
 MOUNTAIN BROOK, AL 35243

### 2. Property Owner:

Name: BAYER PROPERTIES, LLC  
 Email: lzajackowski@bayerproperties.com  
 Phone: 205-795-4121

### 3. Applicant:

Name: TULLY FOWLER, DBA SIGNPRO AMERICA  
 Mailing Address: 3811 UNIVERSITY BLVD WEST, #37  
 City/State/Zip: JACKSONVILLE, FL 32217  
 Phone: 412-908-9832  
 Email: tully.fowler@gmail.com  
 Signature:

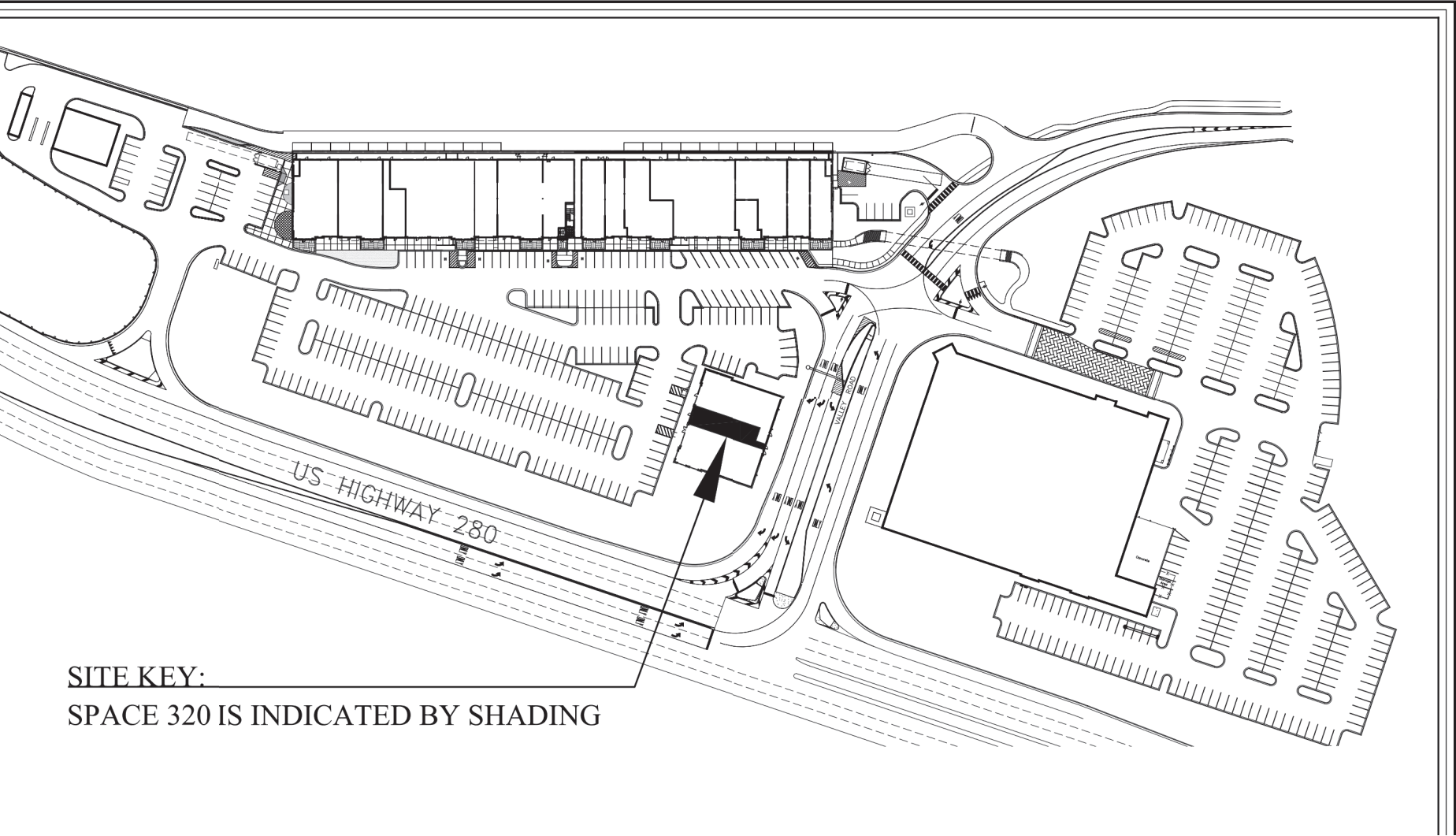
### 4. Contractor Information:

Company Name: SIGNPRO AMERICA  
 Mailing Address: 3811 UNIVERSITY BLVD WEST, #37  
 City/State/Zip: JACKSONVILLE, FL 32217  
 Phone: 412-908-9832  
 Bus. License No: TBA  
 (for the City of Mountain Brook)  
 Print Name: TULLY W FOWLER  
 Email: tully.fowler@gmail.com

Office Use Only - Permits	
Permit No:	
Date Issued:	
Permitted Amount:	
Office Use Only - Design Review	
<input type="checkbox"/> Approved	
<input type="checkbox"/> Approved w/ Conditions	
<input type="checkbox"/> Denied	
Clerk:	
Date:	

Category of Construction		
<input type="checkbox"/> Awning	<input checked="" type="checkbox"/> Facade	<input type="checkbox"/> Window
<input type="checkbox"/> Ground	<input type="checkbox"/> Directory	<input type="checkbox"/> Roof
<input type="checkbox"/> Projecting	<input type="checkbox"/> Door	<input type="checkbox"/> Directional
Sign Information		
Job Description: LED ILLUMINATED CHANNEL LETTERS DIRECT MOUNT TO BRICK FACADE.		
Permit fees are based on the value of the work performed. Indicate the value (round to the nearest dollar) of all equipment, materials, labor, overhead, and the profit for the work indicated on this application. <b>Valuation: \$ 6600.00</b>		
Number of Proposed Sign(s): TWO		
Existing Sign Information		
Please calculate the total square footage of all existing signs on site. Refer to our sign ordinance for categorical clarification.		
Square feet of Signs: 0		
Square feet of Incidental Signs: 0		
Property Owner Signature		
This installation is being made on commercial property owned by me or a member of my immediate family. <b>Signature:</b>		
Is this property subject to a master sign plan, which has been approved by the Design Review Committee?		
<input checked="" type="checkbox"/> Yes		
<input type="checkbox"/> No		

Applications may be obtained online at [www.mtnbrook.org/bc-vdrc](http://www.mtnbrook.org/bc-vdrc).



SITE KEY:  
SPACE 320 IS INDICATED BY SHADING

246.00"

Final Approval By Local Governing Authority

BAYER CONSTRUCTION MANAGEMENT	
<input type="checkbox"/> For Approval	<input type="checkbox"/> Reviewed
<input checked="" type="checkbox"/> Approved as Noted	<input type="checkbox"/> Not Approved
11/12/19	
APPROVAL / DATE	
FINAL APPROVAL BY LOCAL GOVERNING AUTHORITY	



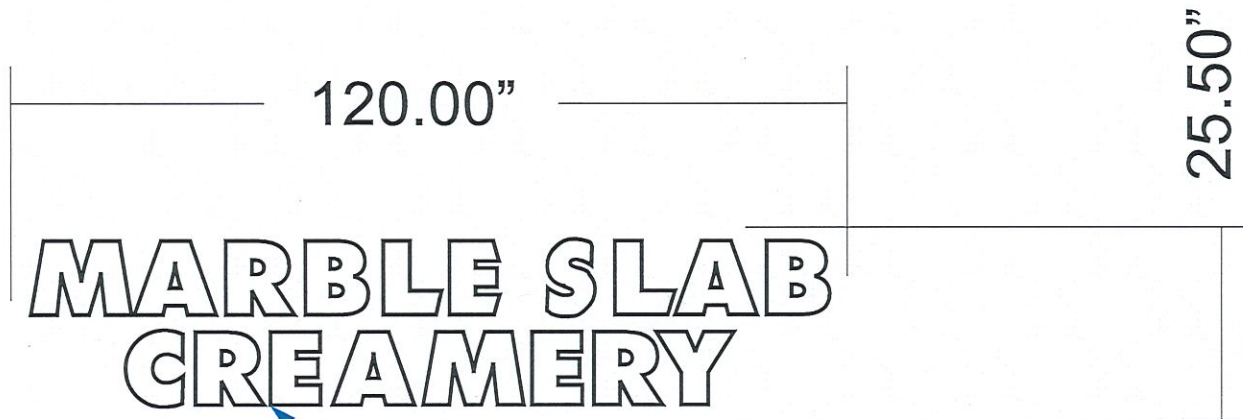
700 E. UNION  
UNIT BD  
BOX 18  
JACKSONVILLE, FL 32206  
904-527-8766

GAC/MSC SIGN SPECS  
GAC/MSC  
CAHABA VILLAGE PLAZA  
SUITE 320  
MOUNTAIN BROOK, AL 35243

BED DRAWN BY	TWF CHECKED BY	11/9/2019 DATE
MSC/GAC LED SIGN DESCRIPTION		
	02092016-01	1

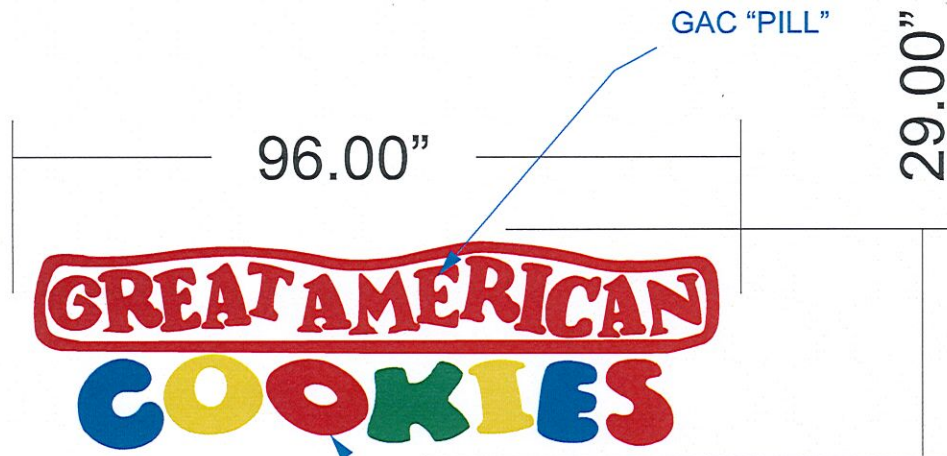


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SIGNPRO AMERICA IS UNLAWFUL.



MSC  
SIGN CALCULATIONS:  
25.50" X 120.00" = 25.50 SQ.FT.

INDIVIDUAL CHANNEL LETTERS



GAC  
SIGN CALCULATIONS:  
29 X 96 = 19.33 SQ.FT.

TOTAL = 44.83 SQ,FT,

INDIVIDUAL CHANNEL LETTERS



700 E. UNION  
UNIT BD  
BOX 18  
JACKSONVILLE, FL 32206  
904-527-8766

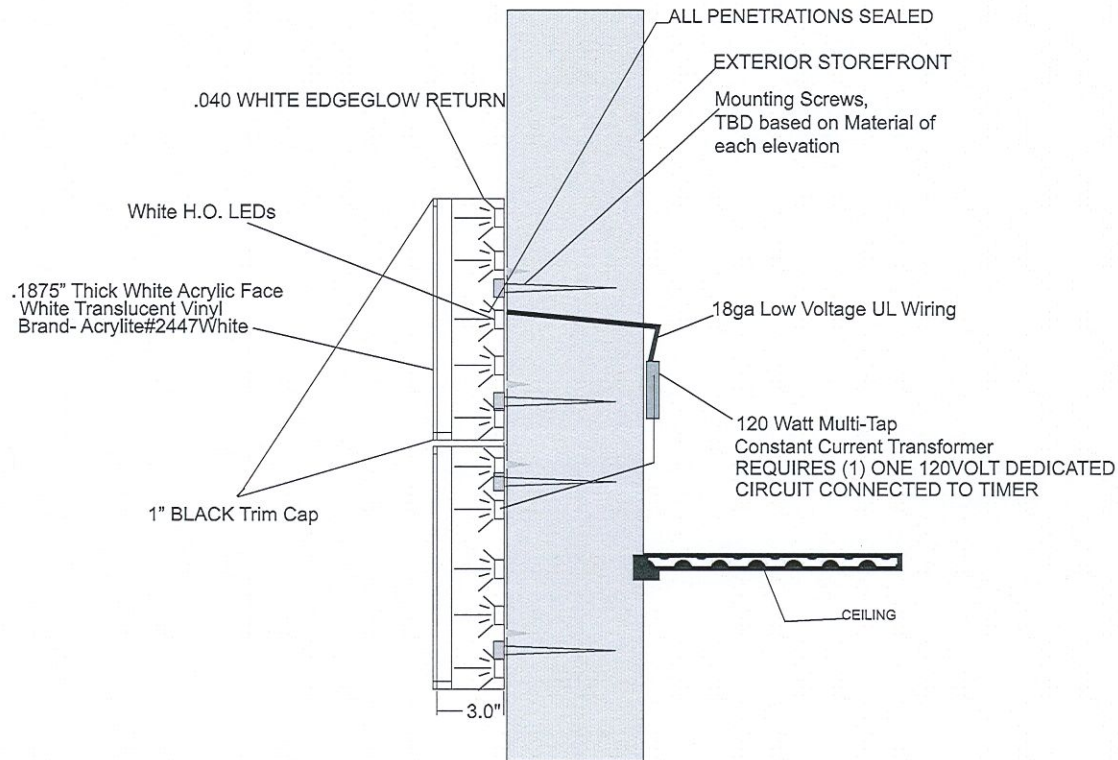
GAC/MSC SIGN SPECS  
GAC/MSC  
CAHABA VILLAGE PLAZA  
SUITE 320  
MOUNTAIN BROOK, AL 35243

BED DRAWN BY	TWF CHECKED BY	11/9/2019 DATE
MSC/GAC LED SIGN DESCRIPTION		
	02092016-01	2



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# MARBLE SLAB CREAMERY



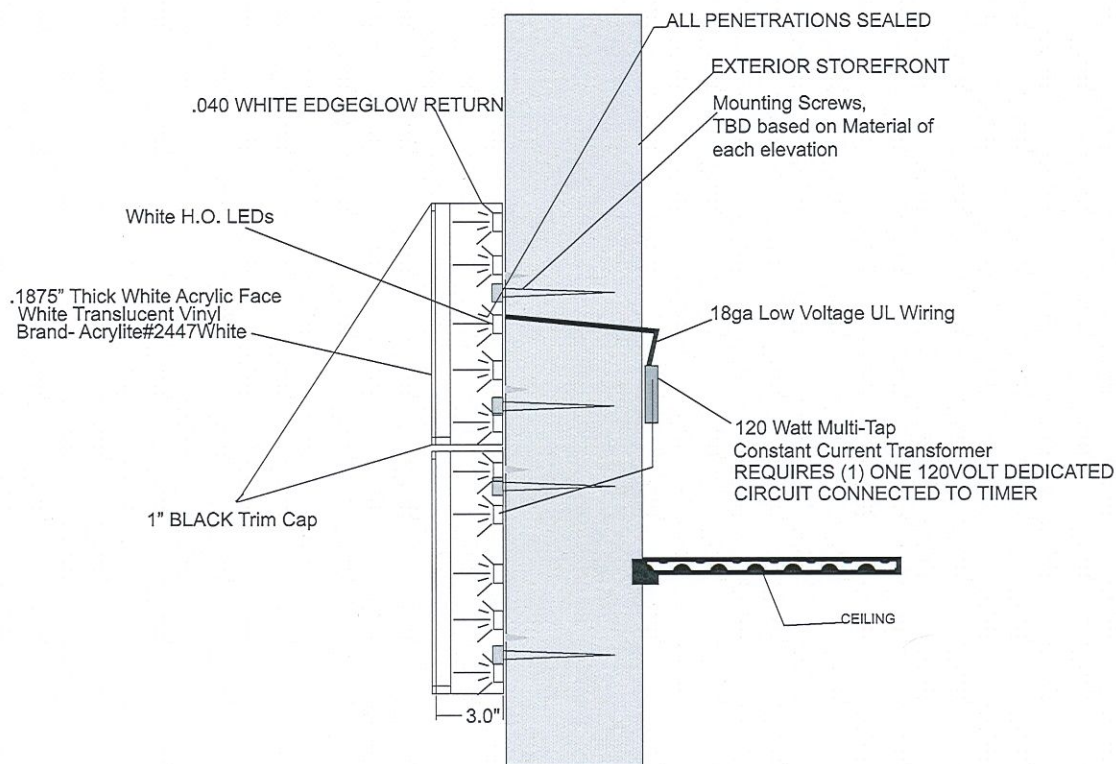
700 E. UNION  
UNIT BD  
BOX 18  
JACKSONVILLE, FL 32206  
904-527-8766

GAC/MSC SIGN SPECS  
GAC/MSC  
CAHABA VILLAGE PLAZA  
SUITE 320  
MOUNTAIN BROOK, AL 35243

BED DRAWN BY	TWF CHECKED BY	11/9/2019 DATE
<b>MSC LED SIGN</b> DESCRIPTION		
	02092016-01	3

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# GREAT AMERICAN COOKIES



700 E. UNION  
UNIT BD  
BOX 18  
JACKSONVILLE, FL 32206  
904-527-8766

GAC/MSC SIGN SPECS  
GAC/MSC  
CAHABA VILLAGE PLAZA  
SUITE 320  
MOUNTAIN BROOK, AL 35243

BED DRAWN BY	TWF CHECKED BY	11/9/2019 DATE
<b>GAC LED SIGN</b> DESCRIPTION		
	02092016-01	4

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V-19-30



*charles* SCHWAB



URGENT CARE  PRIMARY CARE

RESERVED  
PARKING



american family care  
Open 8:00 AM - 8:00 PM  
7 days a week  
No Appointment Necessary

# V-19-31

## Proposed new façade sign

- ✓ Meets the Zoning Regulations for sign area aggregate (approximately 16 SF).

- **Project Data:**

NAME: Sol Y Luna

CURRENT ZONING: PUD

OWNER: Lane Parke Retail, LLC

LOCATION: 920 Park Lane Court



**DESIGN REVIEW/ SIGN APPLICATION**

City of Mountain Brook  
Building, Planning, & Sustainability  
56 Church St, Mountain Brook, AL 35213  
(205) 802-3830 ♦ Fax (205) 879-6913

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**1. Job Site Location:**

Business Name: Sol Y Luna

Address: 920 Park Lane Court

**2. Property Owner:**

Name: Lane Parke Retail LLC

Email: will@crawfordsq.com

Phone: 205-453-6240

**3. Applicant:**

Name: Jorge Castro

Mailing Address: 920 Park Lane Court

City/State/Zip: Mountain Brook, AL

Phone: 205-966-4515

Email: jorge@solyunabham.com

Signature: \_\_\_\_\_

**4. Contractor Information:**

Company Name: Strout Construction LLC

Mailing Address: PO Box 19067

City/State/Zip: Birmingham, AL 35219

Phone: 205-569-8774

Bus. License No: 201904217

(for the City of Mountain Brook)  
Print Name: Benjamin Strout

Email: ben@stroutarch.com

**V-19-31**

Office Use Only - Permits	
Permit No:	
Date Issued:	
Permitted Amount:	
Office Use Only - Design Review	
<input type="checkbox"/> Approved	
<input type="checkbox"/> Approved w/ Conditions	
<input type="checkbox"/> Denied	
Clerk:	
Date:	

Category of Construction		
<input type="checkbox"/> Awning	<input checked="" type="checkbox"/> Facade	<input type="checkbox"/> Window
<input type="checkbox"/> Ground	<input type="checkbox"/> Directory	<input type="checkbox"/> Roof
<input type="checkbox"/> Projecting	<input type="checkbox"/> Door	<input type="checkbox"/> Directional
Sign Information		
Job Description: <b>Installation of steel sign above entry door.</b>		
Permit fees are based on the value of the work performed. Indicate the value (round to the nearest dollar) of all equipment, materials, labor, overhead, and the profit for the work indicated on this application. <b>Valuation: \$</b>		
Number of Proposed Sign(s): <b>1</b>		
Existing Sign Information		
Please calculate the total square footage of all existing signs on site. Refer to our sign ordinance for categorical clarification.		
Square feet of Signs: <b>NA</b>		
Square feet of Incidental Signs: <b>NA</b>		
Property Owner Signature		
This installation is being made on commercial property owned by me or a member of my immediate family. <b>Signature:</b>		
Is this property subject to a master sign plan, which has been approved by the Design Review Committee?		
<input type="checkbox"/> Yes		
<input type="checkbox"/> No		

Applications may be obtained online at [www.mtnbrook.org/bc-vdrc](http://www.mtnbrook.org/bc-vdrc).



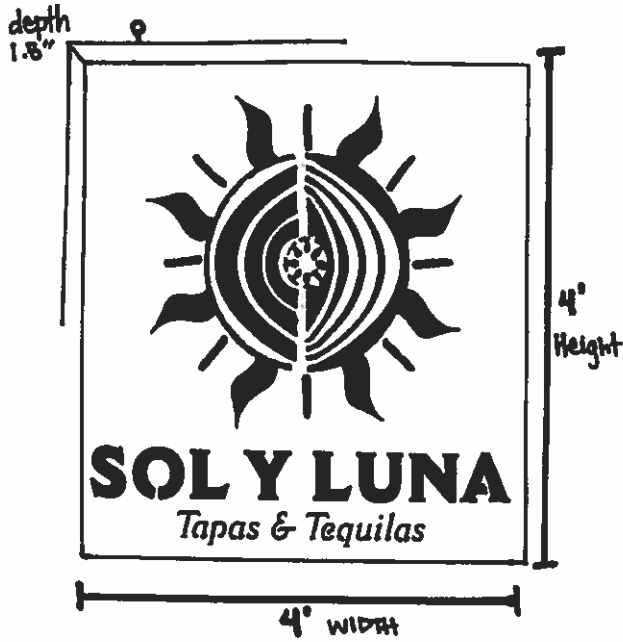
PRE-CONSTRUCTION CONDITION



PROPOSED ALTERATION







4' x 4' SQUARE 1/8" STEEL  
PLATE.  
BLACK AREAS ARE NEGATIVE  
SPACE.  
WHITE AREA IS STEEL.  
FRAMED IN 1 1/2" FLAT BAR.  
SIGN WILL COME OFF THE  
WALL 1.5".



**16216 - C-Series - 8.5" 14.3W 40 Degree 1 LED Accent Light by Kichler Lighting**

Specs	
Family/Collection	C-Series
Height	6.50"
Width/Diameter (in)	3.75"
Wire Length	6.00"
Length	8.50"
# of Bulbs	1
Standard Wattage	14.3W
Bulb Type	LED
Bulbs Included	Yes
Voltage Rating	277V
Material	Aluminum
Optional Finishes:	Yes
Weight	2.50 lbs

Style and Option 1	
Style	Textured Architectural Bronze Finish
Item #	16216AZT
Price	<a href="#">View product for price</a>

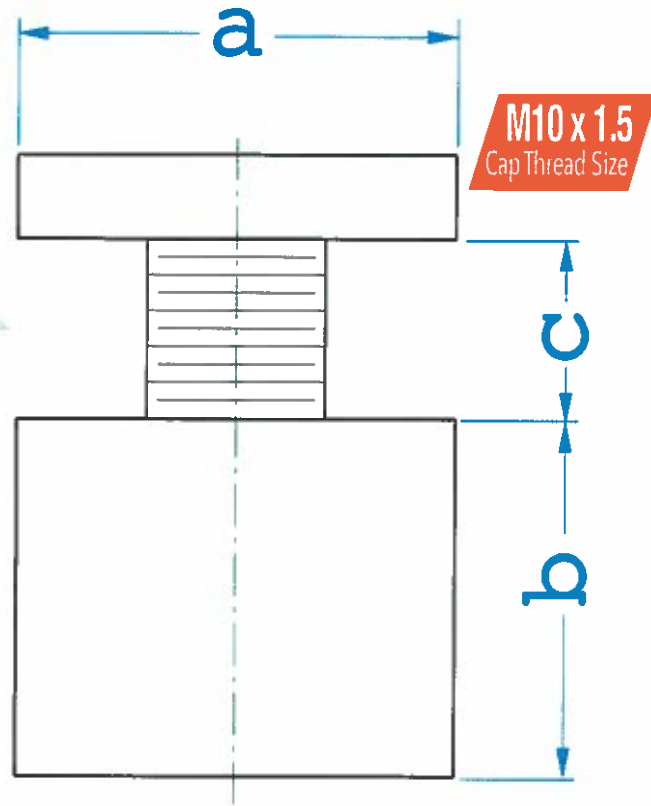
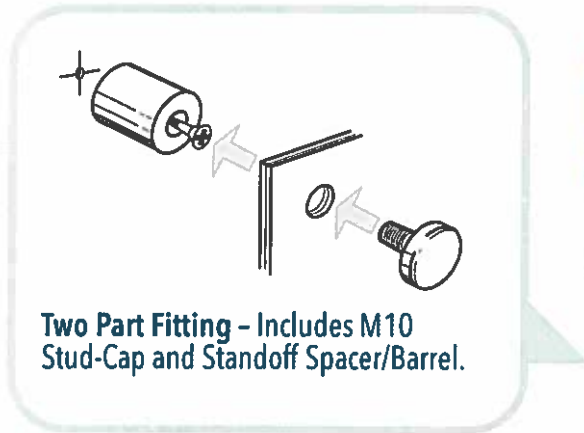
Style and Option 2	
Style	Textured Black Finish
Item #:	16216BKT
Price	<a href="#">View product for price</a>



**LIGHT BASE**



**LIGHT EXTENSION**



**Ø1" SIGN STANDOFF – STAINLESS STEEL**

Part #	Diameter (a)	Length (b)	Panel Thickness (c)	Panel Hole Dia.
<b>WSS-2519 -M10</b>	25mm (1")	19mm (3/4")	12.5mm (1/2") max	11mm (7/16")
	<b>Stud-Cap Thread Size</b>	<b>Mount Screw Size</b>	<b>Load Limit</b>	<b>Finish</b>
	M10 x 1.5	No. 8 screw	11kg (25lb) each *Subject to fixing	Satin Brushed

# V-19-32

Proposed new façade sign, canvas awning, entry door, ramp and painted brick exterior.

✓ Meets the Zoning Regulations for sign area aggregate (approximately 10 SF).

- **Project Data:**

NAME: Carriage House Weddings

CURRENT ZONING: PUD

OWNER: John Evans

LOCATION: 201 Rele St



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 56 Church St, Mountain Brook, AL 35213  
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### 1. Job Site Location:

Business Name: Lane Parke; Bldg B; Suite C

Address: 201 Rele St

### 2. Property Owner:

Name: John Evans

Email: john@evsoninc.com

Phone: \_\_\_\_\_

### 3. Applicant:

Name: Carriage House Weddings

Mailing Address: 201 Rele St

City/State/Zip: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: carolinecarriagehouse@gmail.com

Signature: \_\_\_\_\_

### 4. Contractor Information:

Company Name: RaderMcCary

Mailing Address: 7051 Meadowlark Dr

City/State/Zip: Birmingham, AL 35242

Phone: 205-597-4493

Bus. License No: \_\_\_\_\_

*(for the City of Mountain Brook)*

Print Name: John McCary

Email: jmccary@radermccary.com

### Office Use Only - Permits

Permit No: \_\_\_\_\_

Date Issued: \_\_\_\_\_

Permitted Amount: \_\_\_\_\_

### Office Use Only - Design Review

Approved

Approved w/ Conditions

Denied

Clerk: \_\_\_\_\_

Date: \_\_\_\_\_

### Category of Construction

Awning

Facade

Window

Ground

Directory

Roof

Projecting

Door

Directional

### Sign Information

Job Description: \_\_\_\_\_

Permit fees are based on the value of the work performed. Indicate the value (round to the nearest dollar) of all equipment, materials, labor, overhead, and the profit for the work indicated on this application.

**Valuation: \$** \_\_\_\_\_

Number of Proposed Sign(s): 1

### Existing Sign Information

Please calculate the total square footage of all existing signs on site. Refer to our sign ordinance for categorical clarification.

Square feet of Signs: \_\_\_\_\_

Square feet of Incidental Signs: \_\_\_\_\_

### Property Owner Signature

This installation is being made on commercial property owned by me or a member of my immediate family.

**Signature:** \_\_\_\_\_

Is this property subject to a master sign plan, which has been approved by the Design Review Committee?

Yes

No

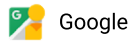
Applications may be obtained online at [www.mtnbrook.org/bc-vdrc](http://www.mtnbrook.org/bc-vdrc).

247 Rele St

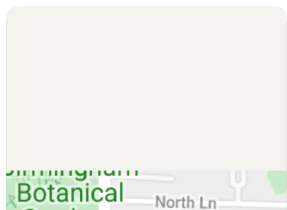


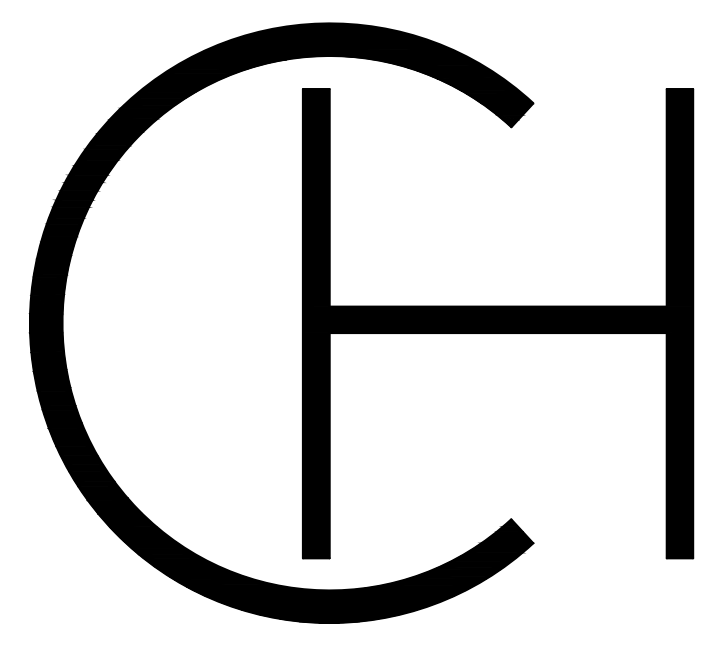
Image capture: Mar 2019 © 2019 Google

Mountain Brook, Alabama



Street View - Mar 2019





# TENANT IMPROVEMENTS FOR carriage house weddings a bridal boutique

Rele Street, Mountain Brook, AL 35223

## CODE INFORMATION

### 1 ADMINISTRATION CHAPTER 1

**APPLICABLE CODES**

2007 The Code of the City of Mountain Brook, Alabama

2015 International Building Code  
 2015 International Fuel Gas Code  
 2015 International Mechanical Code  
 2015 International Plumbing Code  
 2015 International Fire Code  
 2015 Life Safety Code (NFPA 101)  
 2014 National Electric Code

2010 American with Disabilities Act  
 2009 ICC/ANSI A117.1 for Accessibility Standards

### 2 DEFINITIONS CHAPTER 2

**AREA, BUILDING.** The area included within surrounding exterior walls and fire walls exclusive of vent shafts and courts. Areas of the building not provided with surrounding walls shall be included in the building area if such areas are included within the horizontal projection of the roof or floor above.

### 3 OCCUPANCY CLASSIFICATION CHAPTER 3

OCCUPANCY	CLASSIFICATION	AREA
M	MERCANTILE	1,506.00 SF

### 4 SPECIAL REQUIREMENTS: CHAPTER 4

NOT USED

### 5 BUILDING HEIGHTS & AREA: CHAPTER 5

OCCUPANCY: GROUP M MERCANTILE  
 CONSTRUCTION: TYPE II B, UNPROTECTED, SPRINKLERED

**TABLE 504.3 ALLOWABLE BUILDING HEIGHT**

ALLOWABLE HEIGHT: 75'  
 PROPOSED HEIGHT: EXISTING CONSTRUCTION

**TABLE 504.4 ALLOWABLE NUMBER OF STORIES**

MAXIMUM No STORIES: 3  
 PROPOSED No STORIES: 1

**TABLE 506.2 ALLOWABLE AREA**

ALLOWABLE AREA: 50,000.00 SF  
 PROPOSED AREA: 1,506.00 SF

### 6 CONSTRUCTION TYPES CHAPTER 6

**TABLE 601 FIRE RESISTANCE RATINGS**

FOR CONSTRUCTION TYPE II B (EXISTING CONSTRUCTION)

BUILDING ELEMENT	REQUIRED FIRE RESISTANCE IN HOURS
STRUCTURAL FRAME	0
EXTERIOR BEARING WALLS	0
INTERIOR BEARING WALLS	0
EXTERIOR NON-BEARING PARTITIONS	0
INTERIOR NON-BEARING PARTITIONS	0
FLOOR CONSTRUCTION	0
ROOF CONSTRUCTION	0

### 7 FIRE PROTECTION CHAPTER 7

**MINIMUM FIRE RESISTANCE OF WALLS, PARTITIONS AND OPENING PROTECTIVES (HRS)**

COMPONENT	WALL/PARTITIONS	OPENING PROTECTIVES
SHAFT ENCLOSURES	N/A	N/A
WALLS AND PARTITIONS		
1. Fire walls	NOT USED	
2. Tenant space	NOT USED	
3. Horizontal exit	NOT USED	
4. Exit access corridors	NOT USED	
5. Smoke barriers	NOT USED	
6. Refuse and laundry chutes	NOT USED	
7. Incinerator rooms	NOT USED	
8. Hazardous occupancy	NOT USED	
9. High rise buildings	NOT USED	
10. Bathrooms & restrooms	NOT USED	

### 8 INTERIOR FINISHES CHAPTER 8

**SECTION 803 WALL AND CEILING FINISHES**

803.1 General.  
 Interior wall and ceiling finishes shall be classified in accordance with ASTM E 84. Such interior finish materials shall be grouped in the following classes in accordance with their flame spread and smoke-developed indexes.

Class A: Flame spread 0-25; smoke-developed 0-450.  
 Class B: Flame spread 26-75; smoke-developed 0-450.  
 Class C: Flame spread 76-200; smoke-developed 0-450.

Exception: Materials, other than textiles, tested in accordance with Section 803.2.

803.2 Interior wall or ceiling finishes other than textiles. Interior wall or ceiling finishes, other than textiles, shall be permitted to be tested in accordance with NFPA 286 shall comply with Section 803.2.1.

### 9 FIRE PROTECTION SYSTEMS CHAPTER 9

UNPROTECTED SPRINKLERED

### 10 MEANS OF EGRESS CHAPTER 10

**TABLE 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT**

FUNCTION	AREA	AREA PER OCCUPANT	OCCUPANTS
MERCANTILE (M)	1,432 SF	60 SF (GROSS)	23.86
(STORAGE/STOCK)	74 SF	300 SF (GROSS)	.24
	1,506 SF		24.10
TOTAL OCCUPANTS			25.00

**TABLE 1017.2 EXIT ACCESS TRAVEL DISTANCE**

GROUP M 250' WITH SPRINKLER SYSTEM

ACTUAL TRAVEL DISTANCE: ±43'-0" MAX.

**TABLE 1020.2 MINIMUM CORRIDOR WIDTH**

MINIMUM 36" (OCCUPANT LOAD LESS THAN 50)

**1020.4 DEAD-ENDS**

20' MAXIMUM, 0' ACTUAL

**TABLE 1006.3.1 MINIMUM NUMBER OF EXITS**

EXITS REQUIRED: 1 PROVIDED: 2

### 11 ACCESSIBILITY CHAPTER 11

**1101.2 DESIGN**

Buildings and facilities shall be designed and constructed to be accessible in accordance with code and 2009 ICC/ANSI A117.1.

**SECTION 1106 PARKING AND PASSENGER LOADING FACILITIES**

**Table 1106.1 ACCESSIBLE PARKING SPACES**



to an accessible pedestrian entrance to the parking facility. Where buildings have multiple accessible entrances with adjacent parking, accessible parking spaces shall be dispersed and located near the accessible entrance.

Per 1106.7 Passenger loading zones  
 Passenger loading zones shall be designed and constructed in accordance with ICC A117.1.

Per 1106.8 Identification of accessible parking spaces  
 In addition to complying with applicable provisions of this chapter, all accessible parking spaces shall be identified by above grade signs.

### 29 PLUMBING: CHAPTER 29

**TABLE 2902.1 MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES**

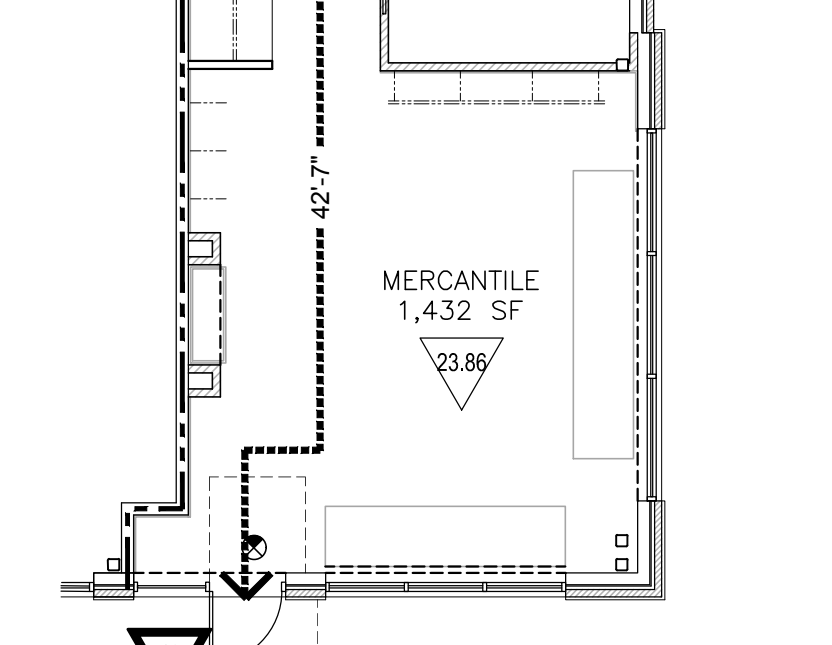
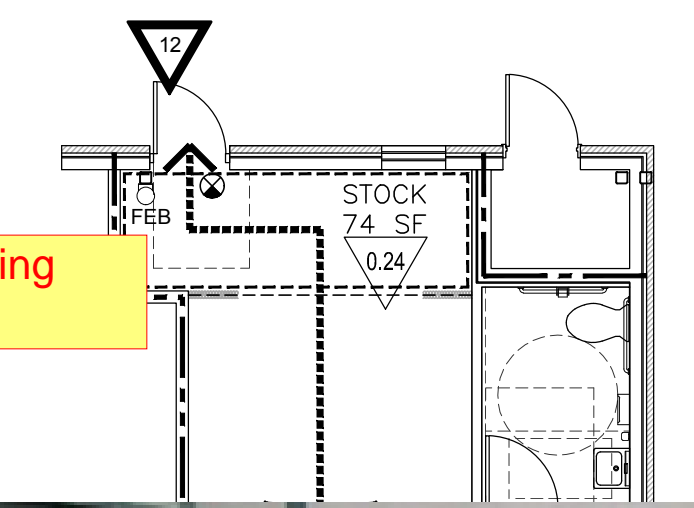
CLASS	AREA (ft²)	OCC	WC		LAV		DF	OTHER
			M	F	M	F		
(M) MERCANTILE	1,506	25	1	500	1	750	1,000	(a)
			1		1		1	

NOTE:  
 a. 1 SERVICE SINK REQUIRED PER LEVEL

### TABLE 2902.2 SEPARATE FACILITIES

WHERE PLUMBING FIXTURES ARE REQUIRED, SEPARATE FACILITIES SHALL BE PROVIDED FOR EACH SEX.

EXCEPTIONS:  
 3. SEPARATE FACILITIES SHALL NOT BE REQUIRED IN MERCANTILE OCCUPANCIES IN WHICH THE MAXIMUM OCCUPANT LOAD IS 100 OR LESS.



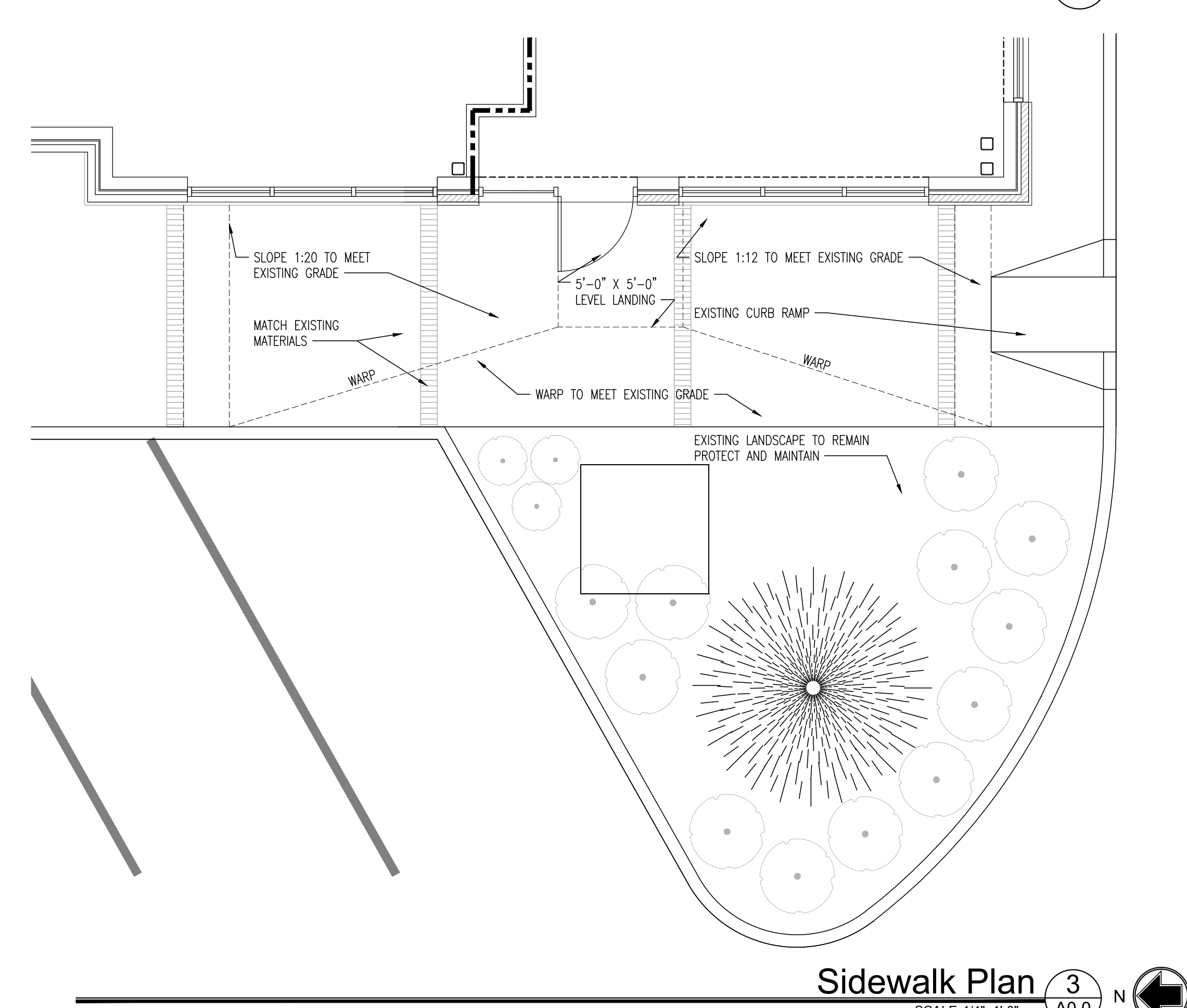
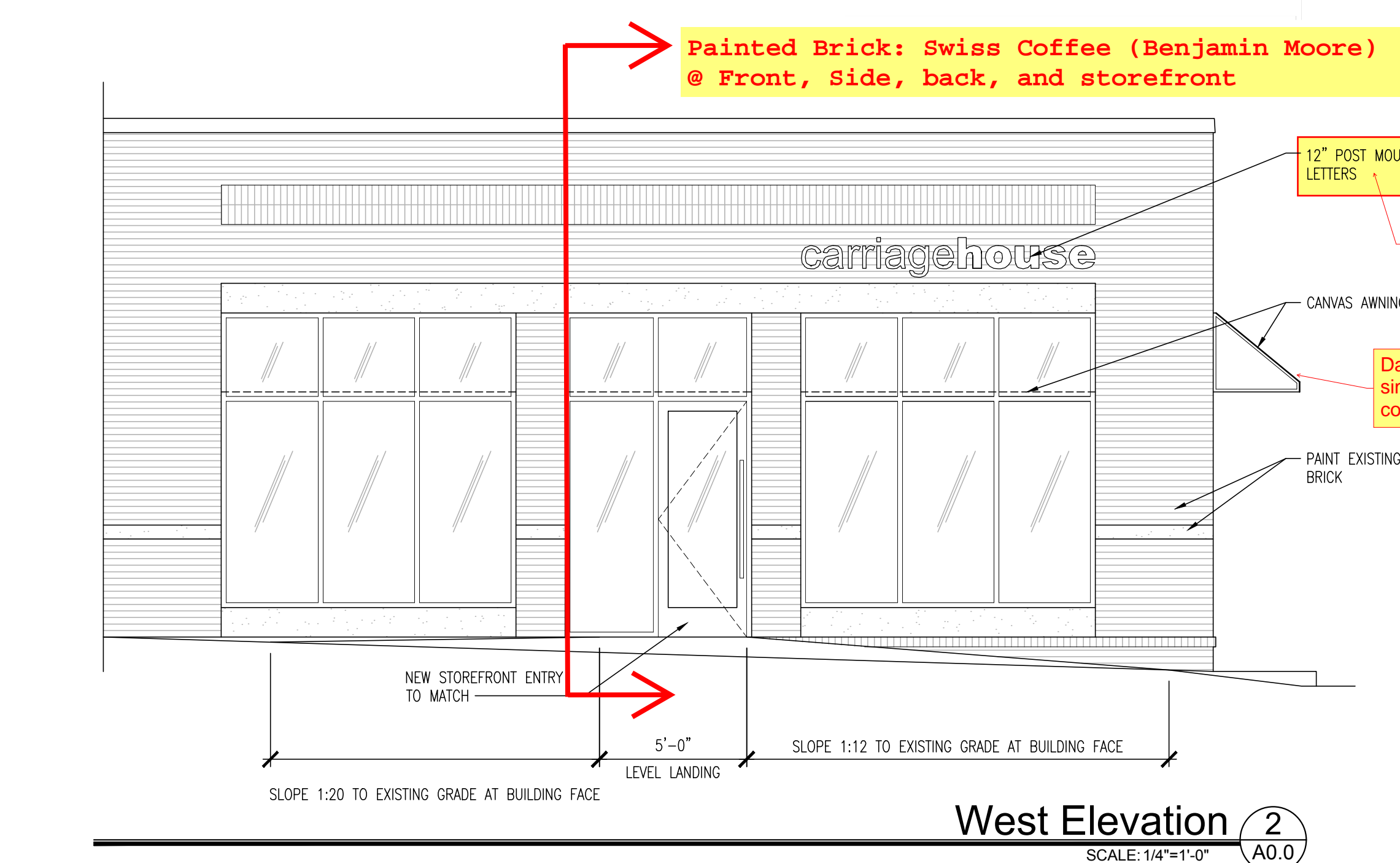
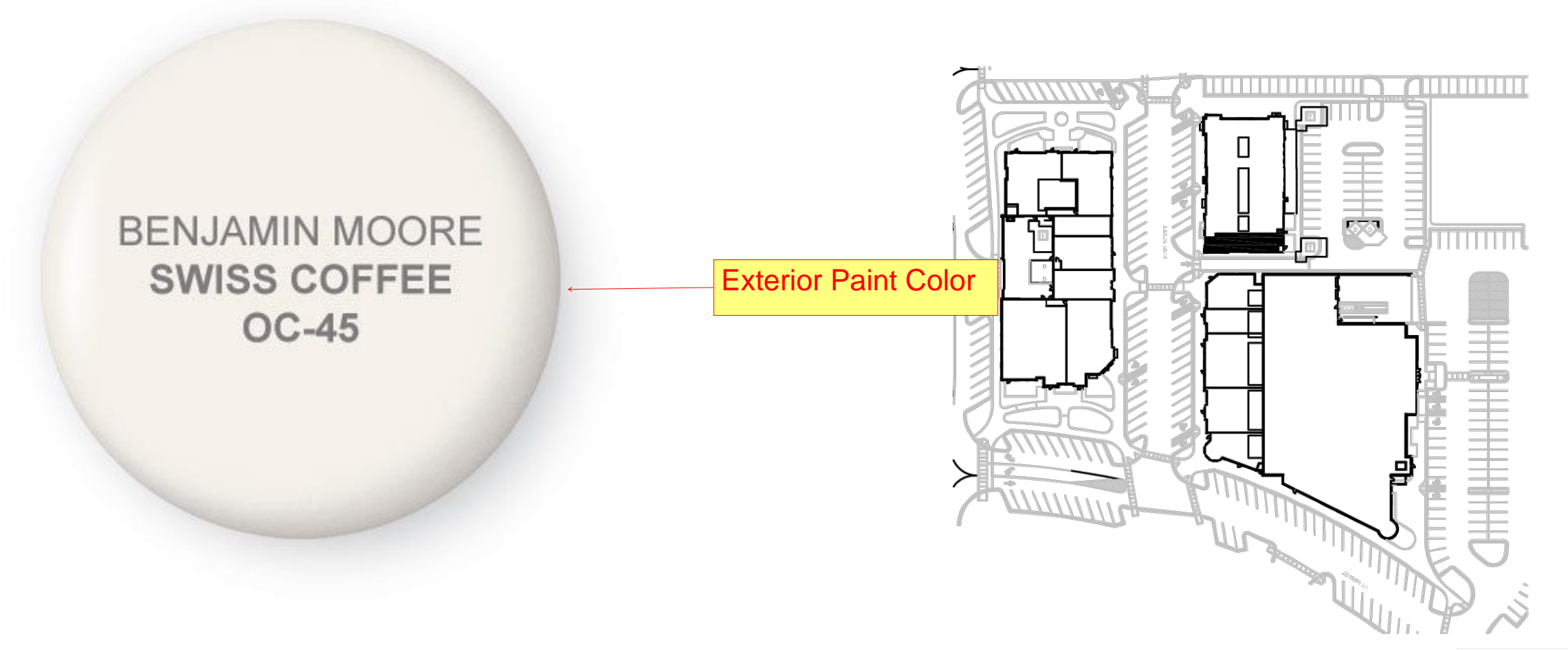
### LIFE SAFETY LEGEND

#	PRIMARY OCCUPANCY LOAD FROM BUILDING SPACE OR GROUP OF SPACES
▽	TOTAL OCCUPANT LOAD AT EXIT
FEB	FIRE EXTINGUISHER BRACKET
⊙	EXIT LIGHT: SEE ELECTRICAL
→	EXIT ACCESS TRAVEL DISTANCE

COORDINATE THE LOCATION OF THE FIRE EXTINGUISHER BRACKET IN COMPLIANCE WITH NFPA 10 STANDARD FOR PORTABLE FIRE EXTINGUISHERS, 1994 EDITION.

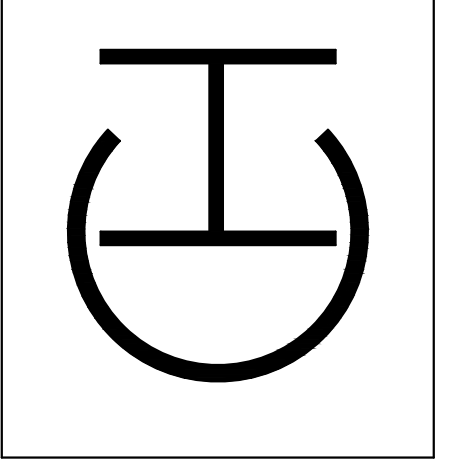
THE MAXIMUM TRAVEL DISTANCE TO ANY EXTINGUISHER SHALL NOT EXCEED 75'-0".

PRIOR TO THE ROUGH-IN AND INSTALLATION OF FIRE EXTINGUISHER CABINETS, THE CONTRACTOR SHALL COORDINATE ALL FIRE EXTINGUISHER CABINET LOCATIONS WITH LOCAL FIRE OFFICIALS AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICT OR REQUIRED CHANGE IN LOCATION IN THIS LAYOUT.



FILE: Drawing1.dwg

TENANT IMPROVEMENTS FOR carriage house weddings a bridal boutique  
 Rele Street, Mountain Brook, AL 35223



DATE: 04 December 2019

SHEET TITLE: COVER SHEET

PROJECT NO: RM08

SHEET NO: A0.0

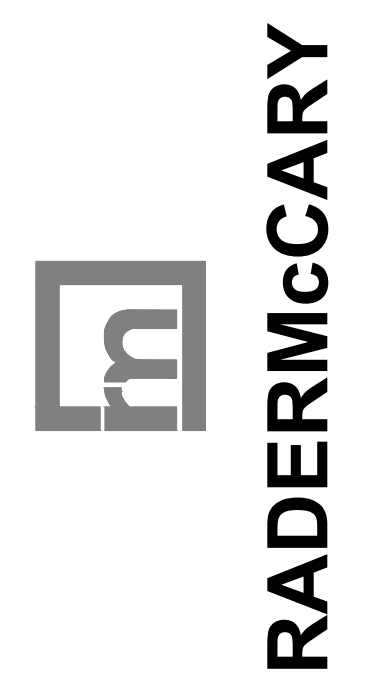
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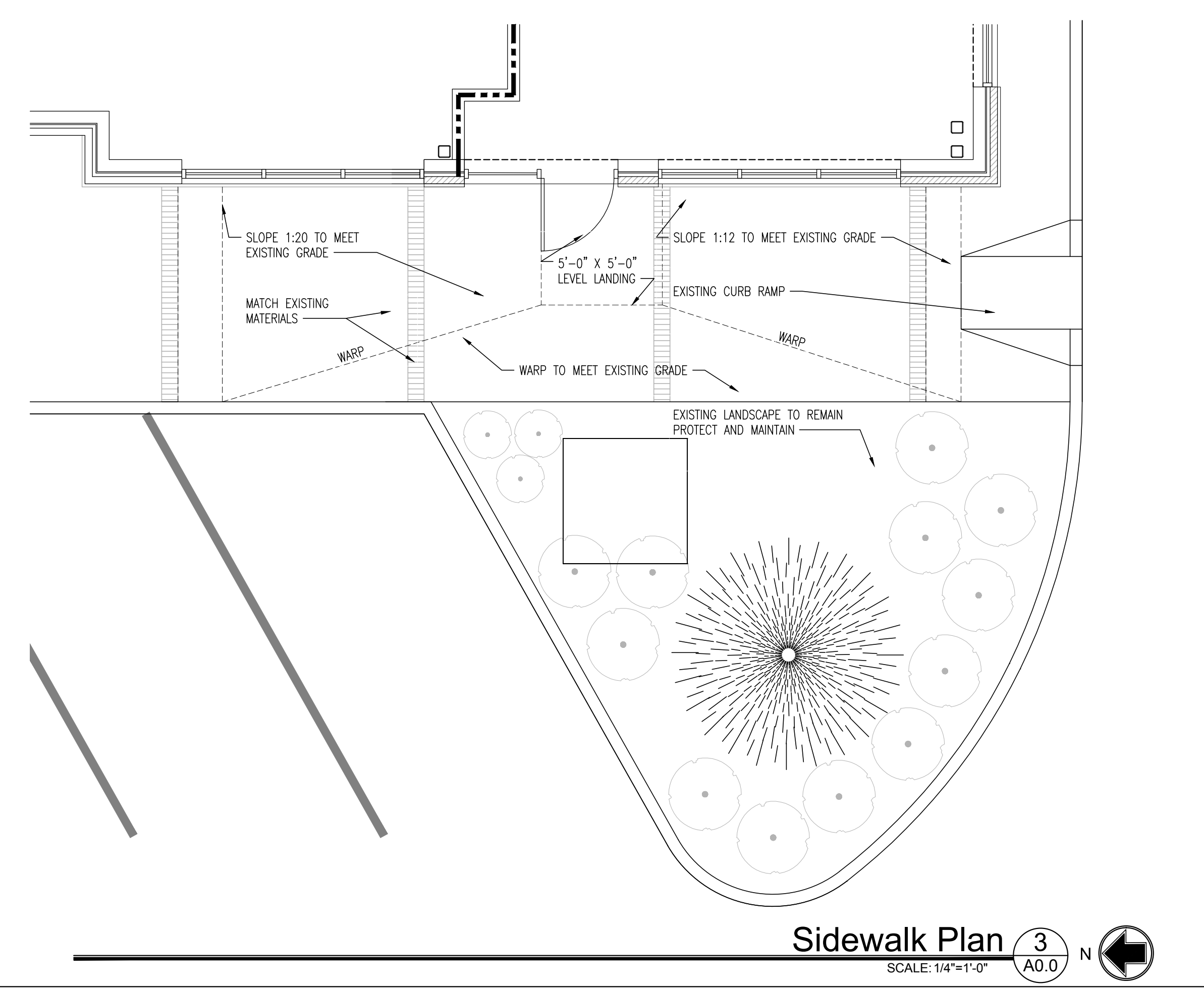
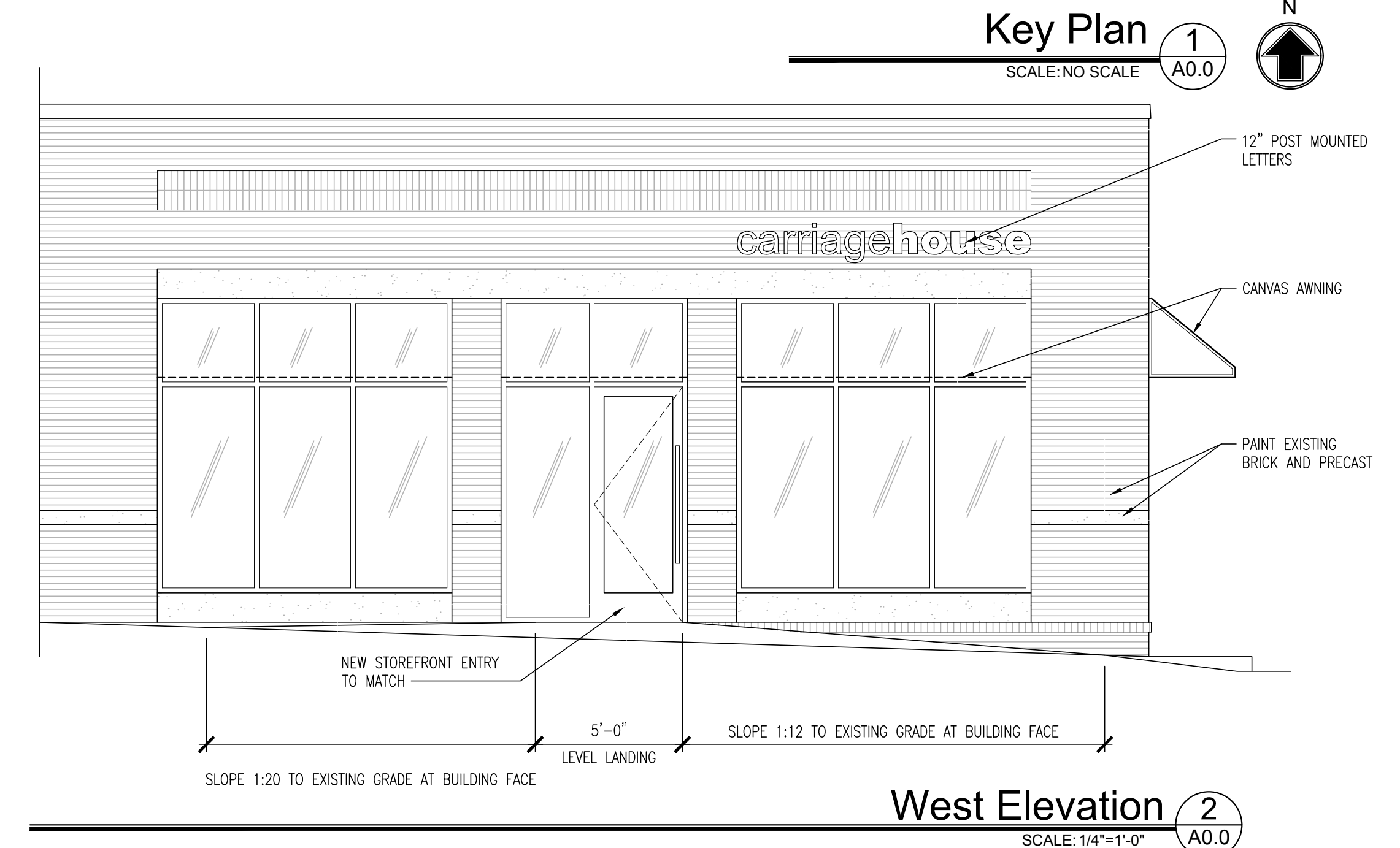
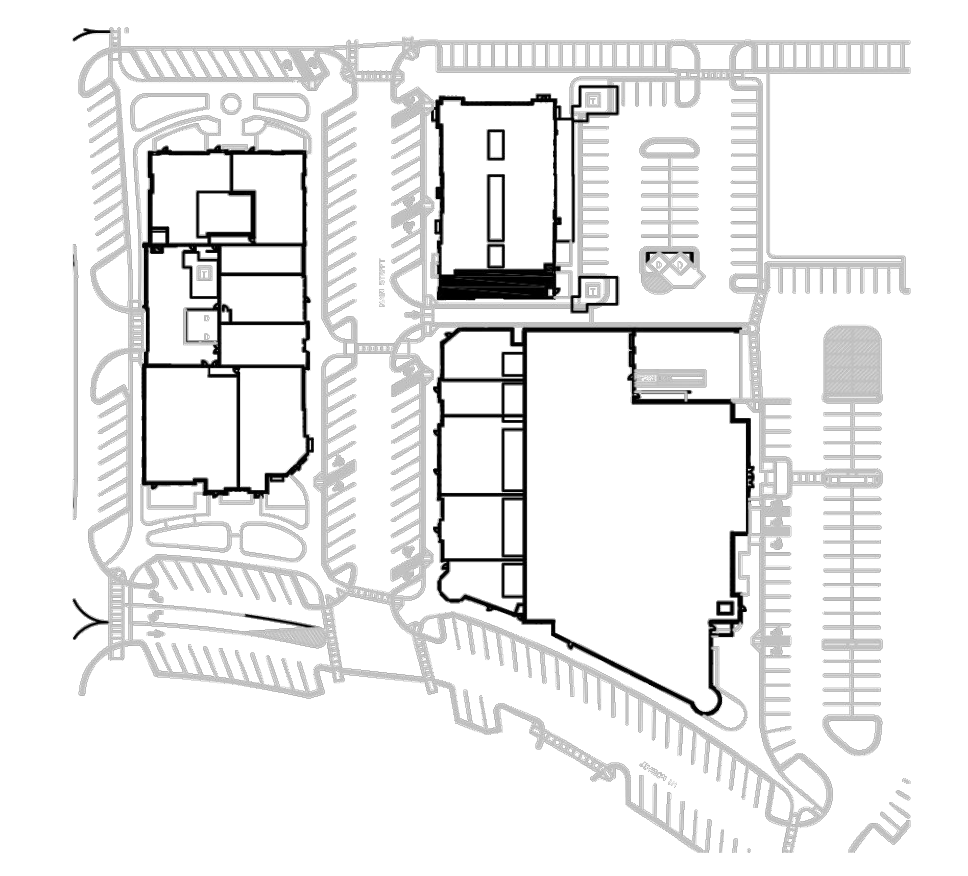
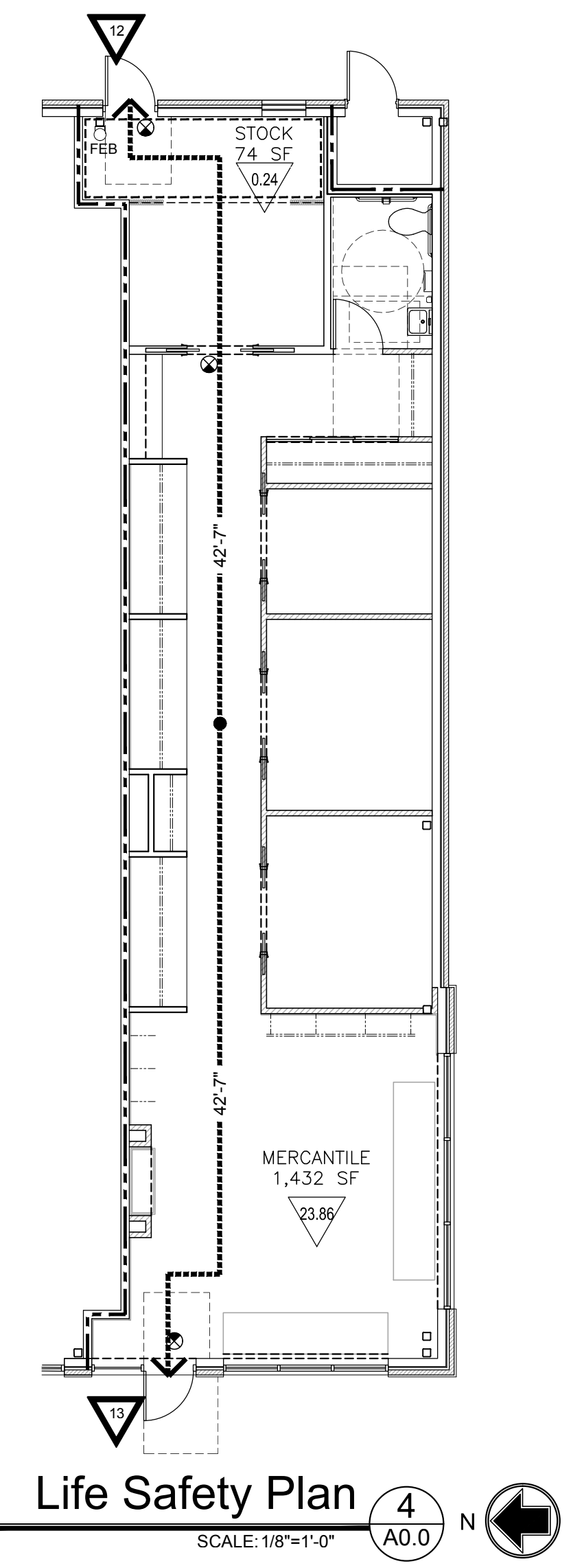
# TENANT IMPROVEMENTS FOR carriage house weddings a bridal boutique

Rele Street, Mountain Brook, AL 35223



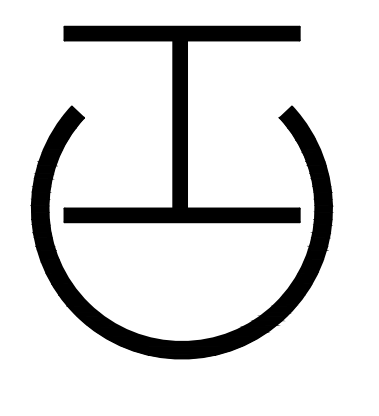
## CODE INFORMATION

<b>1 ADMINISTRATION</b> CHAPTER 1	<b>7 FIRE PROTECTION</b> CHAPTER 7	<b>11 ACCESSIBILITY</b> CHAPTER 11																																							
<b>APPLICABLE CODES</b> 2007 The Code of the City of Mountain Brook, Alabama 2015 International Building Code 2015 International Fuel Gas Code 2015 International Mechanical Code 2015 International Plumbing Code 2015 International Fire Code 2015 Life Safety Code (NFPA 101) 2014 National Electric Code 2010 American with Disabilities Act 2009 ICC/ANSI A117.1 for Accessibility Standards	<b>MINIMUM FIRE RESISTANCE OF WALLS, PARTITIONS AND OPENING PROTECTIVES (HRS)</b> <table border="1"> <tr> <th>COMPONENT</th> <th>WALL/PARTITIONS</th> <th>OPENING PROTECTIVES</th> </tr> <tr> <td>SHAFT ENCLOSURES</td> <td>N/A</td> <td>N/A</td> </tr> <tr> <td>1. 4 or more stories</td> <td></td> <td></td> </tr> <tr> <td>2. Less than 4 stories</td> <td></td> <td></td> </tr> <tr> <td>3. All refuse chutes</td> <td></td> <td></td> </tr> </table> <b>WALLS AND PARTITIONS</b> 1. Fire walls NOT USED 2. Tenant space NOT USED 3. Horizontal exit NOT USED 4. Exit access corridors NOT USED 5. Smoke barriers NOT USED 6. Refuse and laundry chutes NOT USED 7. Incinerator rooms NOT USED 8. Hazardous occupancy NOT USED 9. High rise buildings NOT USED 10. Bathrooms & restrooms NOT USED	COMPONENT	WALL/PARTITIONS	OPENING PROTECTIVES	SHAFT ENCLOSURES	N/A	N/A	1. 4 or more stories			2. Less than 4 stories			3. All refuse chutes			<b>1101.2 DESIGN</b> Buildings and facilities shall be designed and constructed to be accessible in accordance with this code and 2009 ICC/ANSI A117.1. <b>SECTION 1106 PARKING AND PASSENGER LOADING FACILITIES</b> <b>Table 1106.1 ACCESSIBLE PARKING SPACES</b> <table border="1"> <tr> <th>TOTAL PARKING SPACES PROVIDED</th> <th>REQUIRED MINIMUM NUMBER OF ACCESSIBLE SPACES (TABLE 1106.1)</th> </tr> <tr> <td>1 TO 25</td> <td>1</td> </tr> <tr> <td>26 TO 50</td> <td>2</td> </tr> <tr> <td>51 TO 75</td> <td>3</td> </tr> <tr> <td>76 TO 100</td> <td>4</td> </tr> <tr> <td>101 TO 150</td> <td>5</td> </tr> <tr> <td>151 TO 200</td> <td>6</td> </tr> <tr> <td>201 TO 300</td> <td>7</td> </tr> <tr> <td>301 TO 400</td> <td>8</td> </tr> <tr> <td>401 TO 500</td> <td>9</td> </tr> <tr> <td>501 TO 1,000</td> <td>2% of total</td> </tr> <tr> <td>More than 1,000</td> <td>20+1 FOR EA 100 OVER 1,000</td> </tr> </table> <b>1106.5 Van spaces</b> For every six or fraction of six accessible parking spaces, at least one shall be a van accessible parking space. <b>Per 1106.6 Location</b> Accessible parking spaces shall be located on the shortest accessible route of travel from adjacent parking to an accessible building entrance. Accessible parking spaces shall be dispersed among the various types of parking facilities provided. In parking facilities that do not serve a particular building, accessible parking spaces shall be located on the shortest route to an accessible pedestrian entrance to the parking facility. Where buildings have multiple accessible entrances with adjacent parking, accessible parking spaces shall be dispersed and located near the accessible entrance. <b>Per 1106.7 Passenger loading zones</b> Passenger loading zones shall be designed and constructed in accordance with ICC A117.1. <b>Per 1106.8 Identification of accessible parking spaces</b> In addition to complying with applicable provisions of this chapter, all accessible parking spaces shall be identified by above grade signs.	TOTAL PARKING SPACES PROVIDED	REQUIRED MINIMUM NUMBER OF ACCESSIBLE SPACES (TABLE 1106.1)	1 TO 25	1	26 TO 50	2	51 TO 75	3	76 TO 100	4	101 TO 150	5	151 TO 200	6	201 TO 300	7	301 TO 400	8	401 TO 500	9	501 TO 1,000	2% of total	More than 1,000	20+1 FOR EA 100 OVER 1,000
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<b>6 CONSTRUCTION TYPES</b> CHAPTER 6	<b>9 FIRE PROTECTION SYSTEMS</b> CHAPTER 9																																								
<b>TABLE 601 FIRE RESISTANCE RATINGS</b> FOR CONSTRUCTION TYPE II B (EXISTING CONSTRUCTION) <table border="1"> <tr> <th>BUILDING ELEMENT</th> <th>REQUIRED FIRE RESISTANCE IN HOURS</th> </tr> <tr> <td>STRUCTURAL FRAME</td> <td>0</td> </tr> <tr> <td>EXTERIOR BEARING WALLS</td> <td>0</td> </tr> <tr> <td>INTERIOR BEARING WALLS</td> <td>0</td> </tr> <tr> <td>EXTERIOR NON-BEARING PARTITIONS</td> <td>0</td> </tr> <tr> <td>INTERIOR NON-BEARING PARTITIONS</td> <td>0</td> </tr> <tr> <td>FLOOR CONSTRUCTION</td> <td>0</td> </tr> <tr> <td>ROOF CONSTRUCTION</td> <td>0</td> </tr> </table>	BUILDING ELEMENT	REQUIRED FIRE RESISTANCE IN HOURS	STRUCTURAL FRAME	0	EXTERIOR BEARING WALLS	0	INTERIOR BEARING WALLS	0	EXTERIOR NON-BEARING PARTITIONS	0	INTERIOR NON-BEARING PARTITIONS	0	FLOOR CONSTRUCTION	0	ROOF CONSTRUCTION	0	UNPROTECTED SPRINKLERED																								
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	<b>10 MEANS OF EGRESS</b> CHAPTER 10																																								
	<b>TABLE 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT</b> <table border="1"> <tr> <th>FUNCTION</th> <th>AREA</th> <th>AREA PER OCCUPANT</th> <th>OCCUPANTS</th> </tr> <tr> <td>MERCANTILE (M)</td> <td>1,432 SF</td> <td>60 SF (GROSS)</td> <td>23.86</td> </tr> <tr> <td>(STORAGE/STOCK)</td> <td>74 SF</td> <td>300 SF (GROSS)</td> <td>.24</td> </tr> <tr> <td></td> <td>1,506 SF</td> <td></td> <td>24.10</td> </tr> </table> TOTAL OCCUPANTS 25.00 <b>TABLE 1017.2 EXIT ACCESS TRAVEL DISTANCE</b> GROUP M 250' WITH SPRINKLER SYSTEM ACTUAL TRAVEL DISTANCE: ±43'-0" MAX. <b>TABLE 1020.2 MINIMUM CORRIDOR WIDTH</b> MINIMUM 36" (OCCUPANT LOAD LESS THAN 50) <b>1020.4 DEAD-ENDS</b> 20' MAXIMUM, 0' ACTUAL <b>TABLE 1006.3.1 MINIMUM NUMBER OF EXITS</b> EXITS REQUIRED: 1 PROVIDED: 2	FUNCTION	AREA	AREA PER OCCUPANT	OCCUPANTS	MERCANTILE (M)	1,432 SF	60 SF (GROSS)	23.86	(STORAGE/STOCK)	74 SF	300 SF (GROSS)	.24		1,506 SF		24.10																								
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TENANT IMPROVEMENTS FOR  
**carriage house weddings**  
 a bridal boutique  
 Rele Street, Mountain Brook, AL 35223



DATE: 04 December 2019

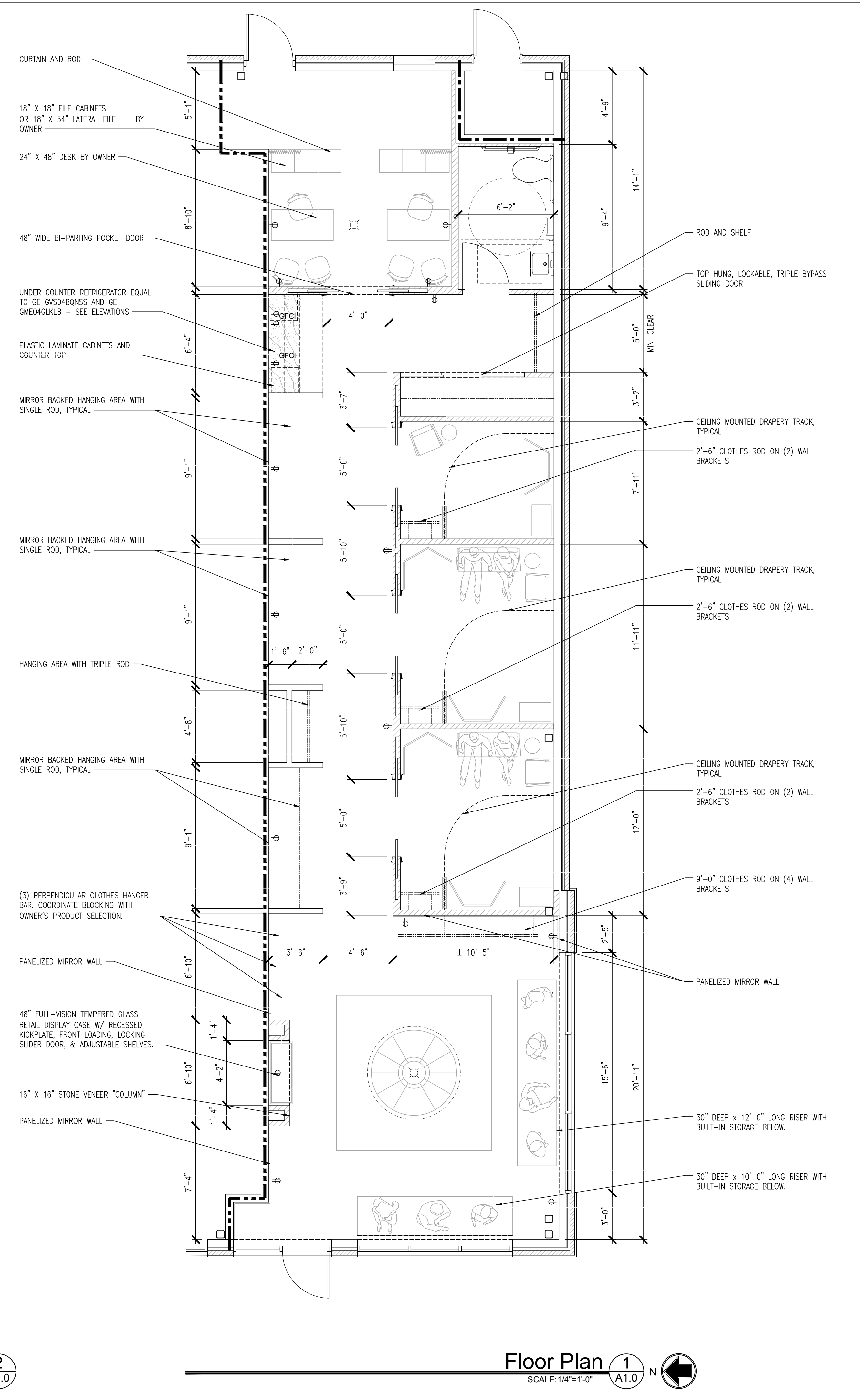
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PROJECT NO: RM08

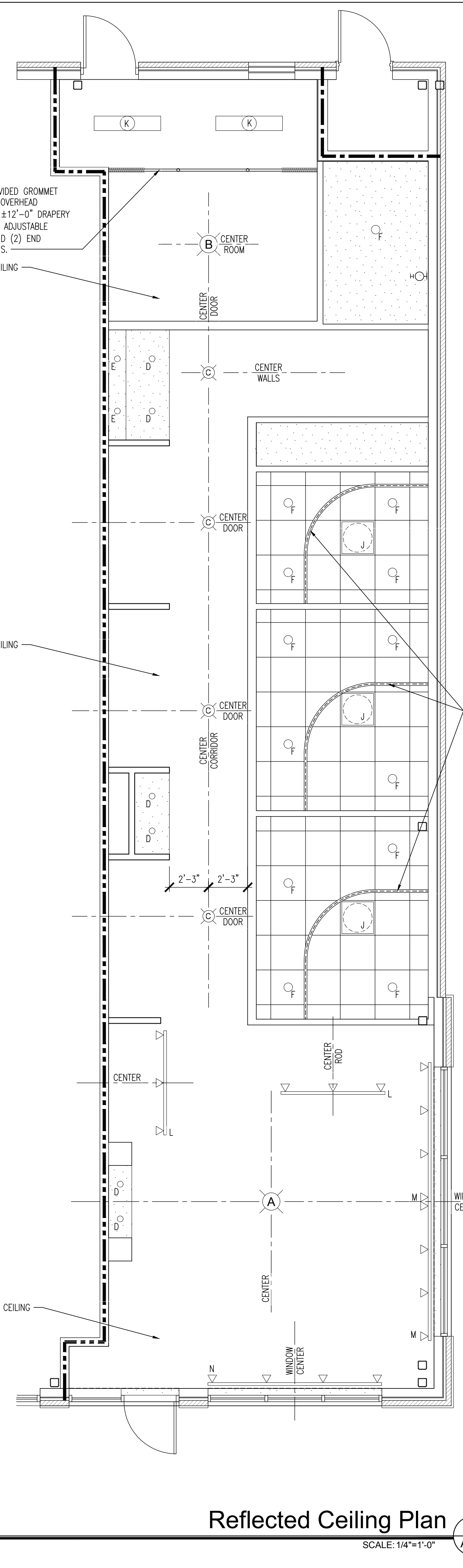
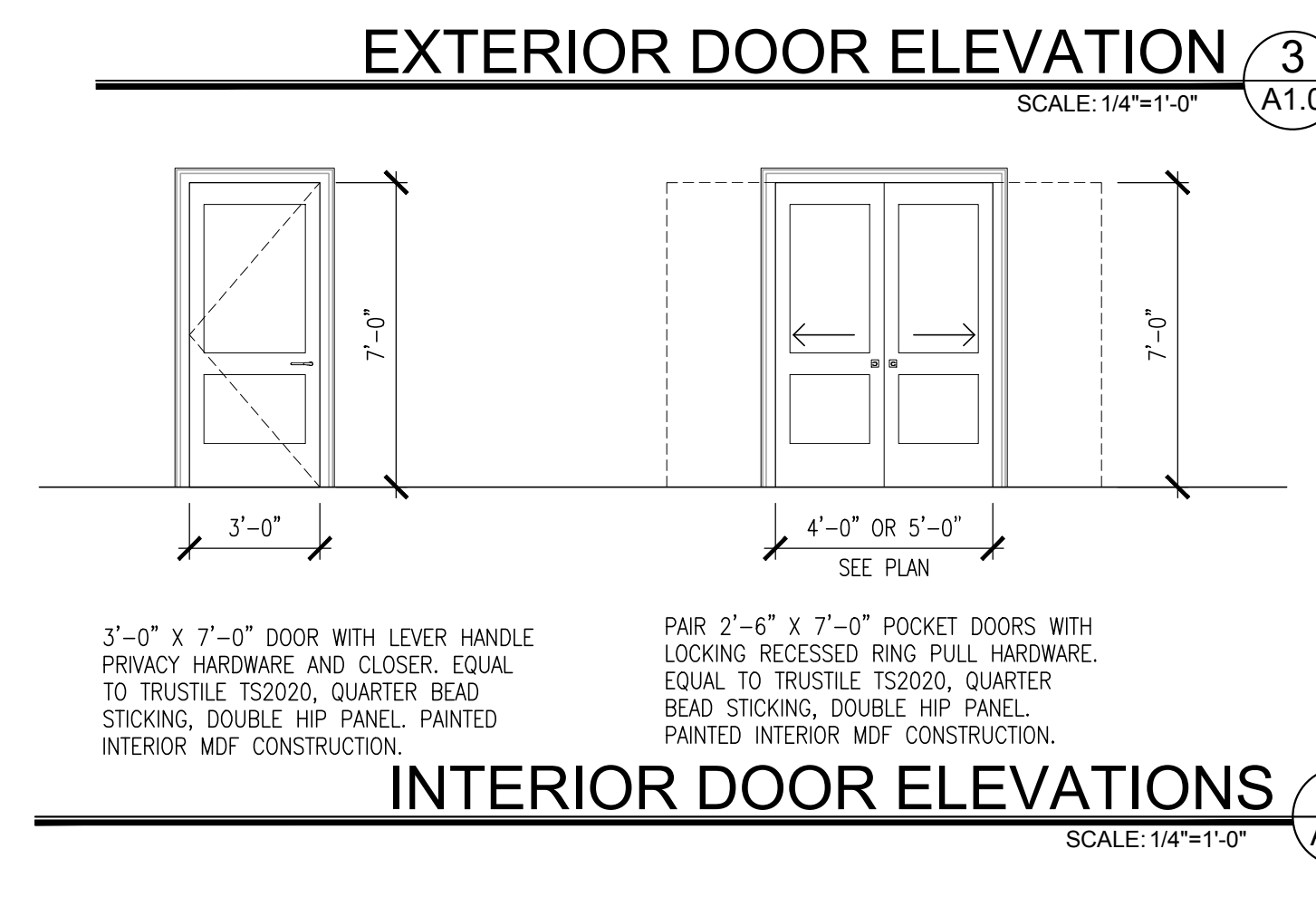
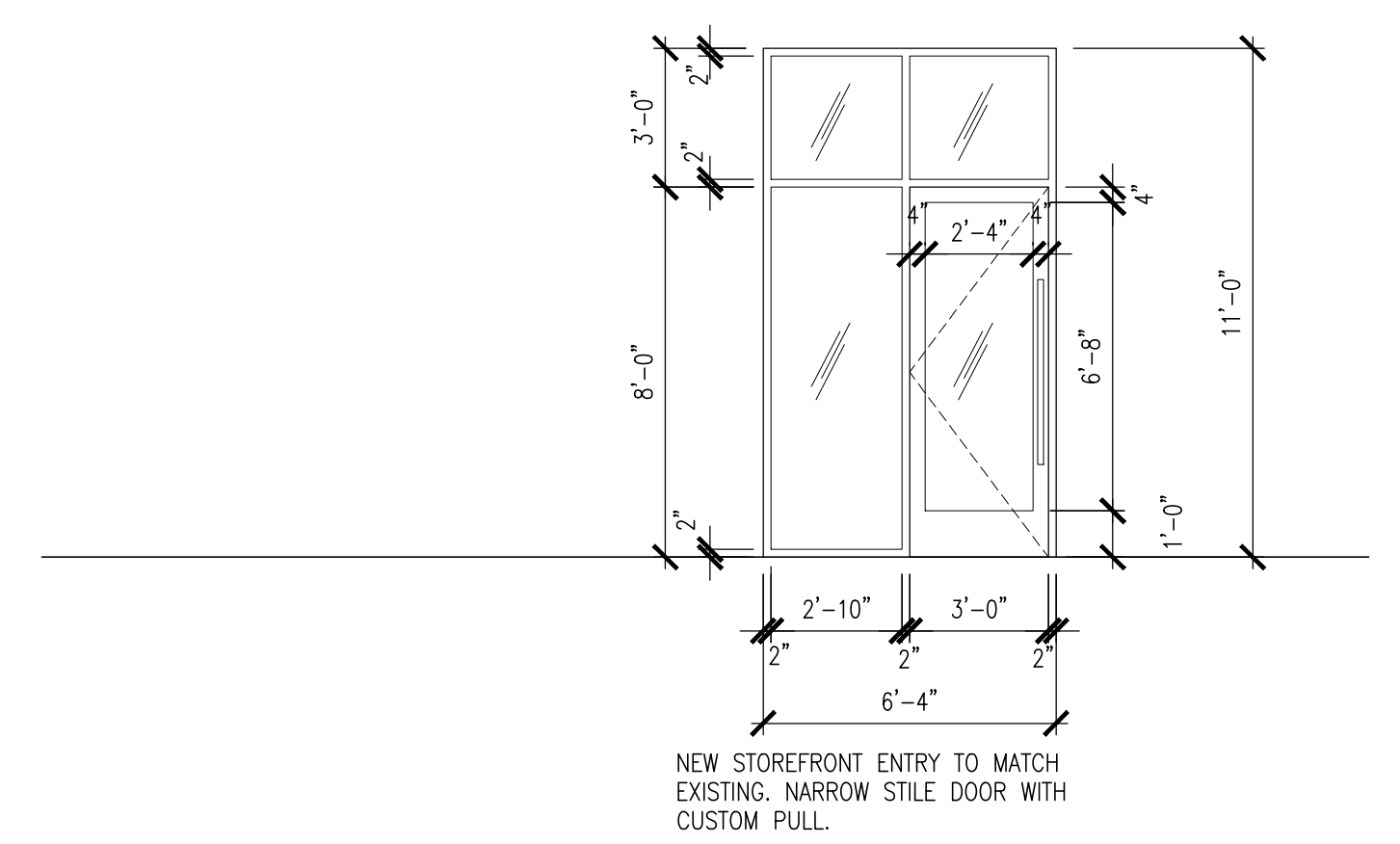
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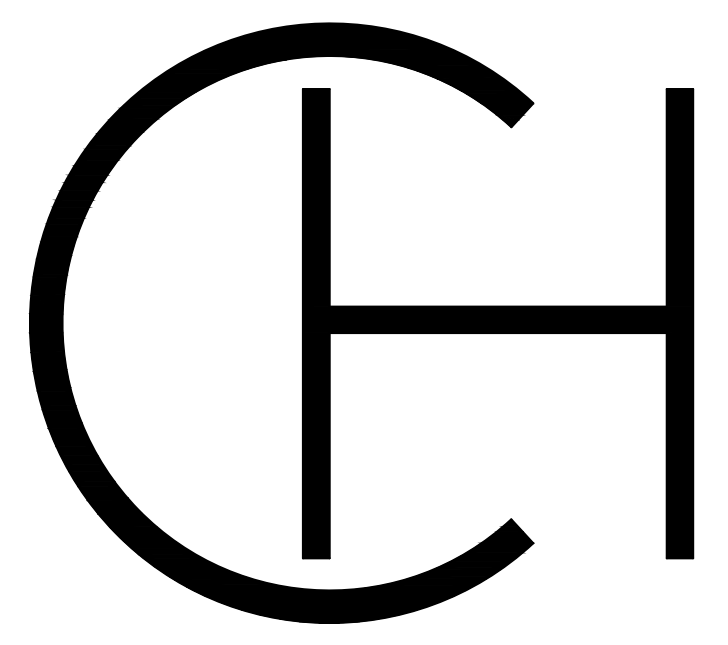


CEILING LEGEND	
	OWNER PROVIDED, GC INSTALLED, PENDANT MOUNT, ±60"± 12'-0" A.F.F.
	OWNER PROVIDED, GC INSTALLED, PENDANT MOUNT, ±30"± 10'-0" A.F.F.
	OWNER PROVIDED, GC INSTALLED, PENDANT MOUNT, ±18"± 10'-0" A.F.F.
	RECESSED DOWN LIGHT, TRIMLESS, 4" APERTURE
	UNDER CABINET LIGHTING
	RECESSED DOWN LIGHT, WHITE TRIM, 6" APERTURE
	OWNER PROVIDED, GC INSTALLED, WALL SCONCE 6'-6" A.F.F.
	SOLATUBE - SOLAMASTER SERIES WITH SQUARE PRISMATIC DIFFUSER
	SURFACE MOUNTED FLUORESCENT MOUNT TO BOTTOM CHORD
	L - 4'-0" TRACK 11'-0" A.F.F.
	M - 8'-0" TRACK 11'-0" A.F.F.
	N - 10'-0" TRACK 11'-0" A.F.F.
	24" SQUARE LAY-IN ACOUSTICAL CEILING, W/ SQUARE TEGULAR EDGE - OPTIMA BY ARMSTRONG
	PAINTED GYPSUM BOARD, MOISTURE RESISTANT AT RESTROOM.



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reduce | reuse | recycle



# TENANT IMPROVEMENTS FOR carriage house weddings a bridal boutique

Rele Street, Mountain Brook, AL 35223

## CODE INFORMATION

### 1 ADMINISTRATION CHAPTER 1

**APPLICABLE CODES**

2007 The Code of the City of Mountain Brook, Alabama

2015 International Building Code  
 2015 International Fuel Gas Code  
 2015 International Mechanical Code  
 2015 International Plumbing Code  
 2015 International Fire Code  
 2015 Life Safety Code (NFPA 101)  
 2014 National Electric Code

2010 American with Disabilities Act  
 2009 ICC/ANSI A117.1 for Accessibility Standards

### 2 DEFINITIONS CHAPTER 2

**AREA, BUILDING.** The area included within surrounding exterior walls and fire walls exclusive of vent shafts and courts. Areas of the building not provided with surrounding walls shall be included in the building area if such areas are included within the horizontal projection of the roof or floor above.

### 3 OCCUPANCY CLASSIFICATION CHAPTER 3

OCCUPANCY	CLASSIFICATION	AREA
M	MERCANTILE	1,506.00 SF

### 4 SPECIAL REQUIREMENTS: CHAPTER 4

NOT USED

### 5 BUILDING HEIGHTS & AREA: CHAPTER 5

OCCUPANCY: GROUP M MERCANTILE  
 CONSTRUCTION: TYPE II B, UNPROTECTED, SPRINKLERED

**TABLE 504.3 ALLOWABLE BUILDING HEIGHT**

ALLOWABLE HEIGHT: 75'  
 PROPOSED HEIGHT: EXISTING CONSTRUCTION

**TABLE 504.4 ALLOWABLE NUMBER OF STORIES**

MAXIMUM No STORIES: 3  
 PROPOSED No STORIES: 1

**TABLE 506.2 ALLOWABLE AREA**

ALLOWABLE AREA: 50,000.00 SF  
 PROPOSED AREA: 1,506.00 SF

### 6 CONSTRUCTION TYPES CHAPTER 6

**TABLE 601 FIRE RESISTANCE RATINGS**

FOR CONSTRUCTION TYPE II B (EXISTING CONSTRUCTION)

BUILDING ELEMENT	REQUIRED FIRE RESISTANCE IN HOURS
STRUCTURAL FRAME	0
EXTERIOR BEARING WALLS	0
INTERIOR BEARING WALLS	0
EXTERIOR NON-BEARING PARTITIONS	0
INTERIOR NON-BEARING PARTITIONS	0
FLOOR CONSTRUCTION	0
ROOF CONSTRUCTION	0

### 7 FIRE PROTECTION CHAPTER 7

**MINIMUM FIRE RESISTANCE OF WALLS, PARTITIONS AND OPENING PROTECTIVES (HRS)**

COMPONENT	WALL/PARTITIONS	OPENING PROTECTIVES
SHAFT ENCLOSURES	N/A	N/A
WALLS AND PARTITIONS		
1. Fire walls	NOT USED	
2. Tenant space	NOT USED	
3. Horizontal exit	NOT USED	
4. Exit access corridors	NOT USED	
5. Smoke barriers	NOT USED	
6. Refuse and laundry chutes	NOT USED	
7. Incinerator rooms	NOT USED	
8. Hazardous occupancy	NOT USED	
9. High rise buildings	NOT USED	
10. Bathrooms & restrooms	NOT USED	

### 8 INTERIOR FINISHES CHAPTER 8

**SECTION 803 WALL AND CEILING FINISHES**

803.1 General.  
 Interior wall and ceiling finishes shall be classified in accordance with ASTM E 84. Such interior finish materials shall be grouped in the following classes in accordance with their flame spread and smoke-developed indexes.

Class A: Flame spread 0-25; smoke-developed 0-450.  
 Class B: Flame spread 26-75; smoke-developed 0-450.  
 Class C: Flame spread 76-200; smoke-developed 0-450.

Exception: Materials, other than textiles, tested in accordance with Section 803.2.

803.2 Interior wall or ceiling finishes other than textiles. Interior wall or ceiling finishes, other than textiles, shall be permitted to be tested in accordance with NFPA 286 shall comply with Section 803.2.1.

### 9 FIRE PROTECTION SYSTEMS CHAPTER 9

UNPROTECTED SPRINKLERED

### 10 MEANS OF EGRESS CHAPTER 10

**TABLE 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT**

FUNCTION	AREA	AREA PER OCCUPANT	OCCUPANTS
MERCANTILE (M)	1,432 SF	60 SF (GROSS)	23.86
(STORAGE/STOCK)	74 SF	300 SF (GROSS)	.24
	1,506 SF		24.10
TOTAL OCCUPANTS			25.00

**TABLE 1017.2 EXIT ACCESS TRAVEL DISTANCE**

GROUP M 250' WITH SPRINKLER SYSTEM

ACTUAL TRAVEL DISTANCE: ±43'-0" MAX.

**TABLE 1020.2 MINIMUM CORRIDOR WIDTH**

MINIMUM 36" (OCCUPANT LOAD LESS THAN 50)

**1020.4 DEAD-ENDS**

20' MAXIMUM, 0' ACTUAL

**TABLE 1006.3.1 MINIMUM NUMBER OF EXITS**

EXITS REQUIRED: 1 PROVIDED: 2

### 11 ACCESSIBILITY CHAPTER 11

**1101.2 DESIGN**

Buildings and facilities shall be designed and constructed to be accessible in accordance with code and 2009 ICC/ANSI A117.1.

### SECTION 1106 PARKING AND PASSENGER LOADING FACILITIES

**Table 1106.1 ACCESSIBLE PARKING SPACES**



to an accessible pedestrian entrance to the parking facility. Where buildings have multiple accessible entrances with adjacent parking, accessible parking spaces shall be dispersed and located near the accessible entrance.

**Per 1106.7 Passenger loading zones**  
 Passenger loading zones shall be designed and constructed in accordance with ICC A117.1.

**Per 1106.8 Identification of accessible parking spaces**  
 In addition to complying with applicable provisions of this chapter, all accessible parking spaces shall be identified by above grade signs.

### 29 PLUMBING: CHAPTER 29

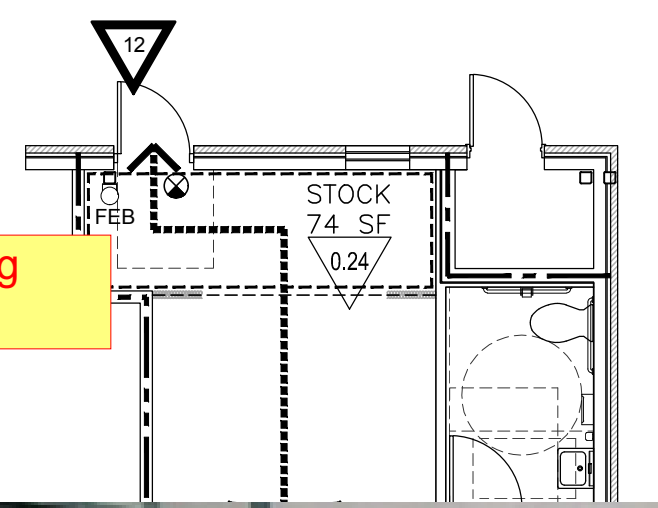
**TABLE 2902.1 MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES**

CLASS	AREA (ft²)	OCC	WC		LAV		DF	OTHER
			M	F	M	F		
(M) MERCANTILE	1,506	25	1	500	1	750	1,000	(a)

NOTE:  
 a. 1 SERVICE SINK REQUIRED PER LEVEL

**TABLE 2902.2 SEPARATE FACILITIES**  
 WHERE PLUMBING FIXTURES ARE REQUIRED, SEPARATE FACILITIES SHALL BE PROVIDED FOR EACH SEX.

EXCEPTIONS:  
 3. SEPARATE FACILITIES SHALL NOT BE REQUIRED IN MERCANTILE OCCUPANCIES IN WHICH THE MAXIMUM OCCUPANT LOAD IS 100 OR LESS.



### Life Safety Plan 4 A0.0

### LIFE SAFETY LEGEND

- # PRIMARY OCCUPANCY LOAD FROM BUILDING SPACE OR GROUP OF SPACES
- ▽ TOTAL OCCUPANT LOAD AT EXIT
- FEB FIRE EXTINGUISHER BRACKET
- ⊙ EXIT LIGHT: SEE ELECTRICAL
- #--- EXIT ACCESS TRAVEL DISTANCE

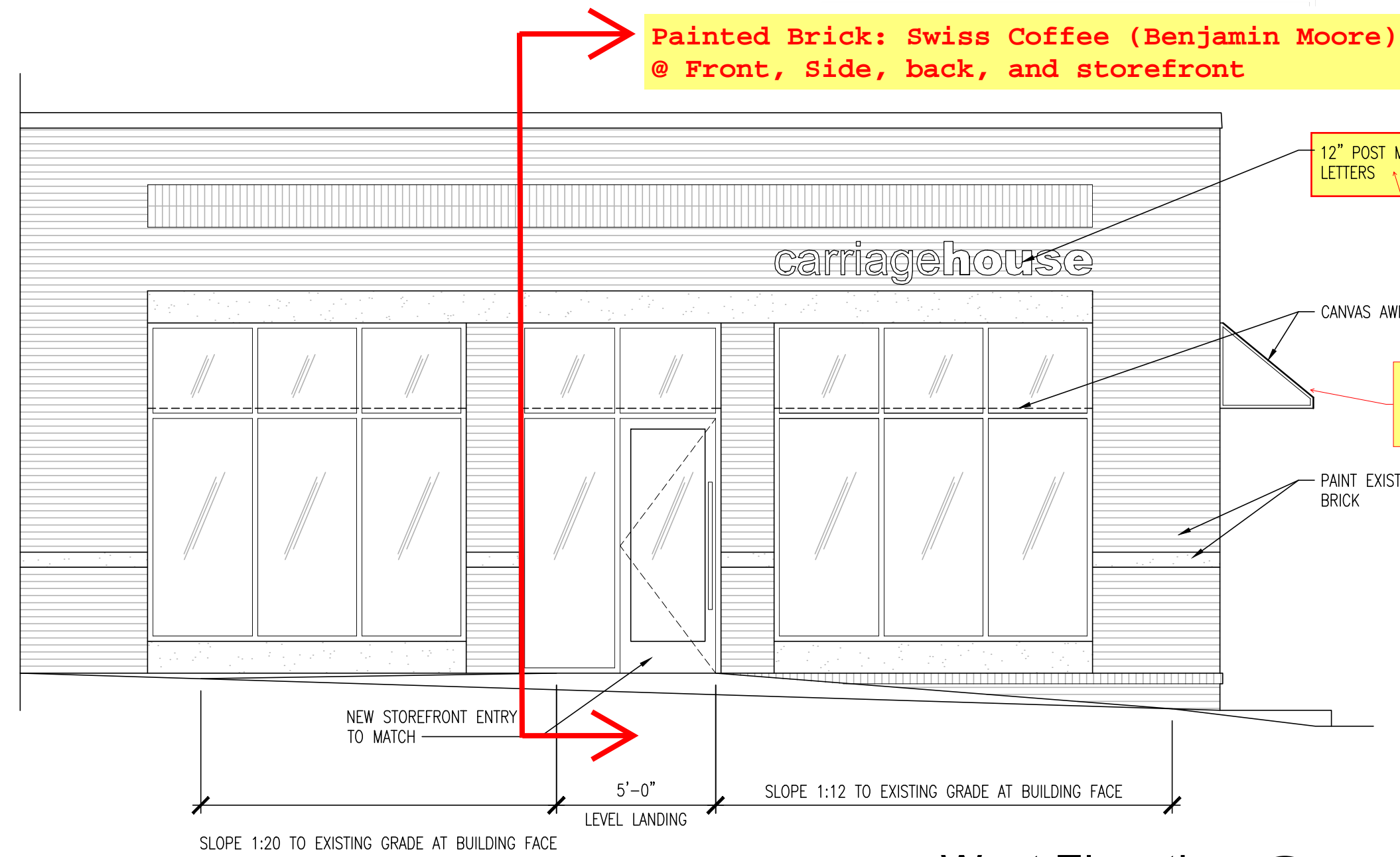
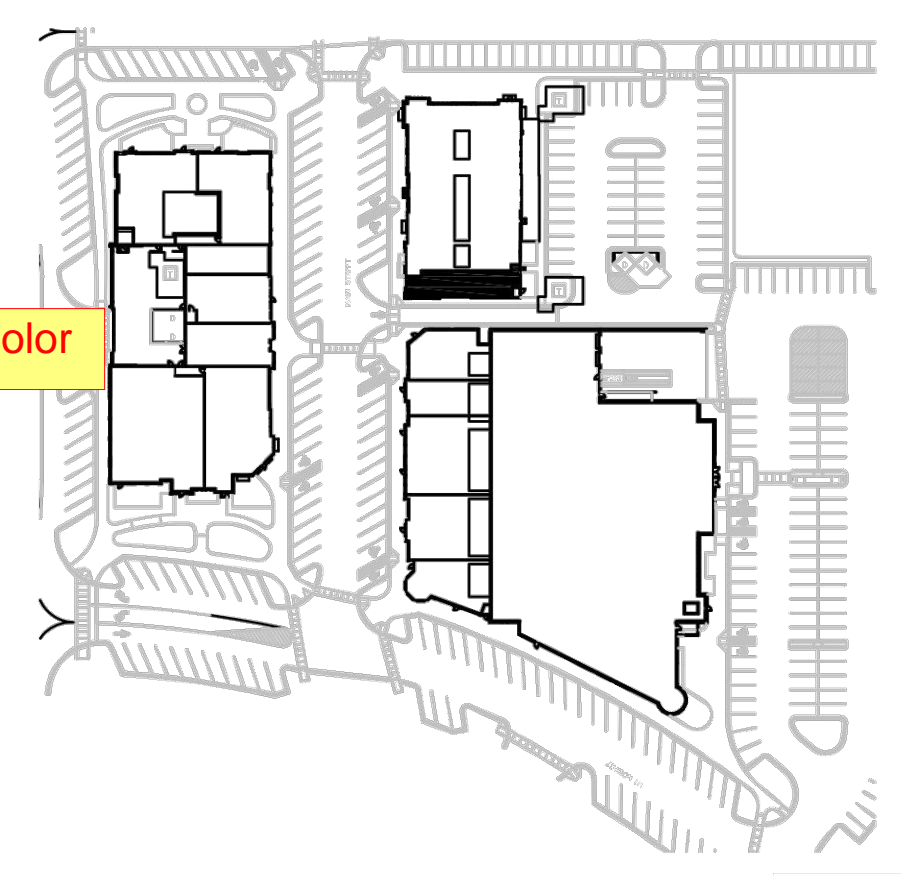
COORDINATE THE LOCATION OF THE FIRE EXTINGUISHER BRACKET IN COMPLIANCE WITH NFPA 10 STANDARD FOR PORTABLE FIRE EXTINGUISHERS, 1994 EDITION.

THE MAXIMUM TRAVEL DISTANCE TO ANY EXTINGUISHER SHALL NOT EXCEED 75'-0".

PRIOR TO THE ROUGH-IN AND INSTALLATION OF FIRE EXTINGUISHER CABINETS, THE CONTRACTOR SHALL COORDINATE ALL FIRE EXTINGUISHER CABINET LOCATIONS WITH LOCAL FIRE OFFICIALS AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICT OR REQUIRED CHANGE IN LOCATION IN THIS LAYOUT.



Exterior Paint Color



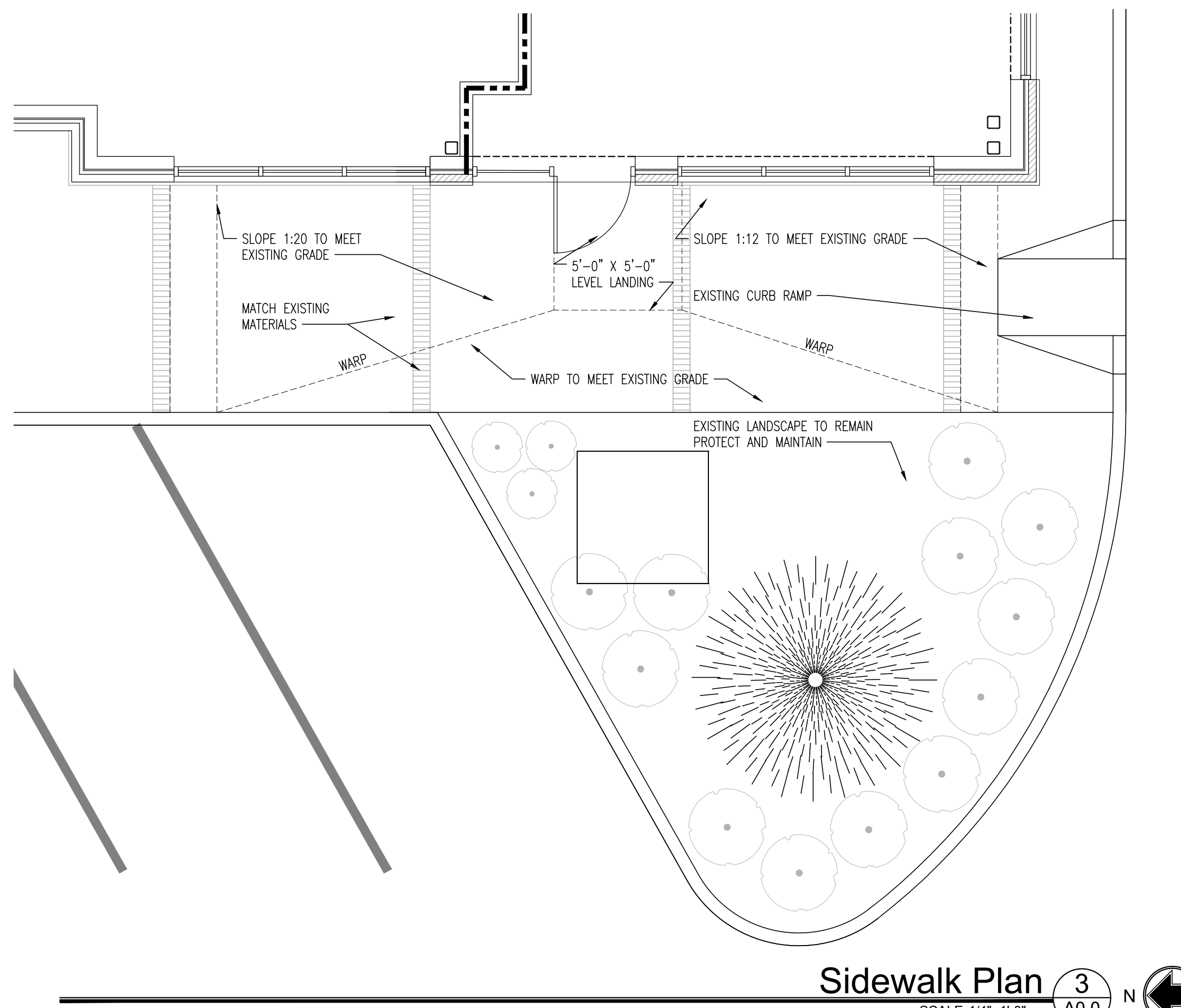
Painted Brick: Swiss Coffee (Benjamin Moore) @ Front, Side, back, and storefront

12" POST MOUNTED LETTERS

Reverse Lit similar to B Prince, Aged Brass/Gold Color

Dark Grey Fabric similar to CharBar covered porch color

### West Elevation 2 A0.0



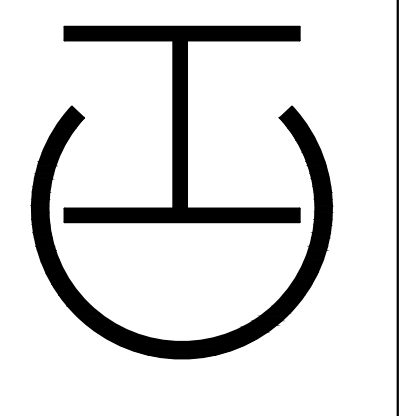
### Sidewalk Plan 3 A0.0

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**RADERMCCARY**

FILE: Drawing1.dwg

TENANT IMPROVEMENTS FOR  
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 Rele Street, Mountain Brook, AL 35223



DATE: 04 December 2019

SHEET TITLE: COVER SHEET

PROJECT NO: RM08

SHEET NO: A0.0

1: projects\clients\code\mccary\m08 - dress shop\drawing1.dwg Jeff Moore plotted: 12/4/2019 11:55:44 AM