

PLANNING COMMISSION PACKET

September 24, 2020

Hello All,

Enclosed please find your packet for the Zoom meeting of October 5, 2020.

We have:

- 5 resurveys
- 1 solar array
- Amended development plan for City Fire Department training facility
- Recommendation to City Council – private driveway in unopened alley

If you receive any citizen inquiries regarding these cases the plans may be viewed by going to:

www.mtnbrook.org

- Calendar (upper right corner)
- Planning Commission (October 5, 2020)
- Meeting Information (for agenda) and Supporting Documents (*to view proposed plans select link associated with the case number*)

If you have any questions about these cases please don't hesitate to give me a call at 802-3816 or send me an email at hazend@mtnbrook.org.

Looking forward to seeing you on Monday (on Zoom)!

Dana

MEETING AGENDA
CITY OF MOUNTAIN BROOK
PLANNING COMMISSION
OCTOBER 5, 2020
PRE-MEETING: 4:30 P.M.
REGULAR MEETING: 5:30 P.M.
CITY HALL, 56 CHURCH STREET
MOUNTAIN BROOK, AL 35213

MEETING TO BE HELD VIRTUALLY USING ZOOM VIDEO CONFERENCING
(ACCESS INSTRUCTIONS ON MEETING WEBPAGE AT MTNBROOK.ORG)

1. Call To Order
2. Approval of Agenda
3. Approval of Minutes: August 3, 2020 and September 8, 2020
4. **Case P-20-21:** Waldrop Resurvey, being a Resurvey of the West Half of Lot 309 of Mountain Brook Estates, as recorded in Map Book 19, Page 40, in the Judge of Probate Office, Jefferson County, Alabama; situated in a portion of the SE ¼ of Section 8, Twp-18, R-2W, Jefferson County, Alabama. **3037 Cambridge Road**
5. **Case P-20-22:** Brien Resurvey, being a Resurvey of Part of Lot 5, Shades Valley Gardens, Second Sector, as recorded in Map Book 25, Page 55, in the Judge of Probate Office, Jefferson County, Alabama; situated in the SE ¼ of Section 33, Twp-17S, R-2W, and in the NE ¼ of Section 4, Twp 18S, R2W, Jefferson County, Alabama. **2 West Montcrest Drive**
6. **Case P-20-24:** Lavender Resurvey of Park Lane South, being a Resurvey of the East Half of Lot 7, Lot 6, and the West Half of Lot 5, Block 9, of the First Addition to South Highlands, as recorded in Map Volume 7, Pages 105 and 106, in the Judge of Probate Office, Jefferson County, Alabama; situated in the SE ¼ of Section 6, Twp-18S, R-2W, Jefferson County, Alabama. **2422 Park Lane South**
7. **Case P-20-25:** Hazelrig Abingdon Road Resurvey, being a Resurvey of Lot 2-A of a Resurvey of Abingdon Estates, Dunn Sector, as recorded in Map Book 123, Page 11, and Lot 15, Abingdon, as recorded in Book 19, Page 87, both in the Judge of Probate Office, Jefferson County, Alabama; and acreage; situated in a portion of the NW ¼ of Section 21, Twp-18S, R-2W, Jefferson County, Alabama. **4111 Abingdon Lane**
8. **Case P-20-26:** Resurvey of Lot 10 and Lot 9 of Andrews Addition to Knollwood, being a Resurvey of Lot 10 and Lot 9 of Andrew Addition to Knollwood, as recorded in Map Book 199, Page 22, in the Judge of Probate Office, Jefferson County, Alabama; situated in the SE ¼ of Section 16, Twp-18S, R-2W, Jefferson County, Alabama. **3901 and 3905 Seven Bark Circle**
9. **P-20-27:** Request for approval of the installation of a solar array. **200 Office Park Drive**
10. **P-20-28:** Request for approval of an amended master development plan for the Mountain Brook Fire Department Training Facility. **3601 East Street**

11. **P-20-29:** Request for the installation of a private driveway in a portion of an unpaved public alley right-of-way. **120 Cherry Street**

12. Next Meeting: **Monday**, November 2, 2020

13. Adjournment



**Planning Commission Application
PART I**

Project Data

Address of Subject Property 3037 CAMBRIDGE ROAD 35223

Zoning Classification A

Name of Property Owner(s) JAMIE & DAVID WALDROP

Phone Number 205-447-8398 Email dwaldrop@cowin.com

Name of Representative Agent (if applicable)

MICHAEL ERIC DALE

Phone Number 205-873-1676 Email eric@ericdale.com

Name of Engineer or Surveyor WILLIAM CALLAHAN - SOUTH CENTRAL SURVEY

Phone Number 205-229-1993 Email buick@southcentralsurveying.com

Property owner or representative agent must be present at hearing

Plans

See applicable Section of the Zoning Ordinance for submittal requirements pertaining to your particular application. Applicable Code Section may be found in Part II, list of application types. Contact City Planner with any specific questions as to required plans submittal.

M I C H A E L E R I C D A L E

RESIDENCE DESIGN
INTERIOR DESIGN

August 14, 2020

Planning Commission
City of Mountain Brook, AL

Property Address: 3037 Cambridge Road, Mountain Brook, AL 35223, Zone A
Property Owners: Jamie & David Waldrop

Dear Board Members:

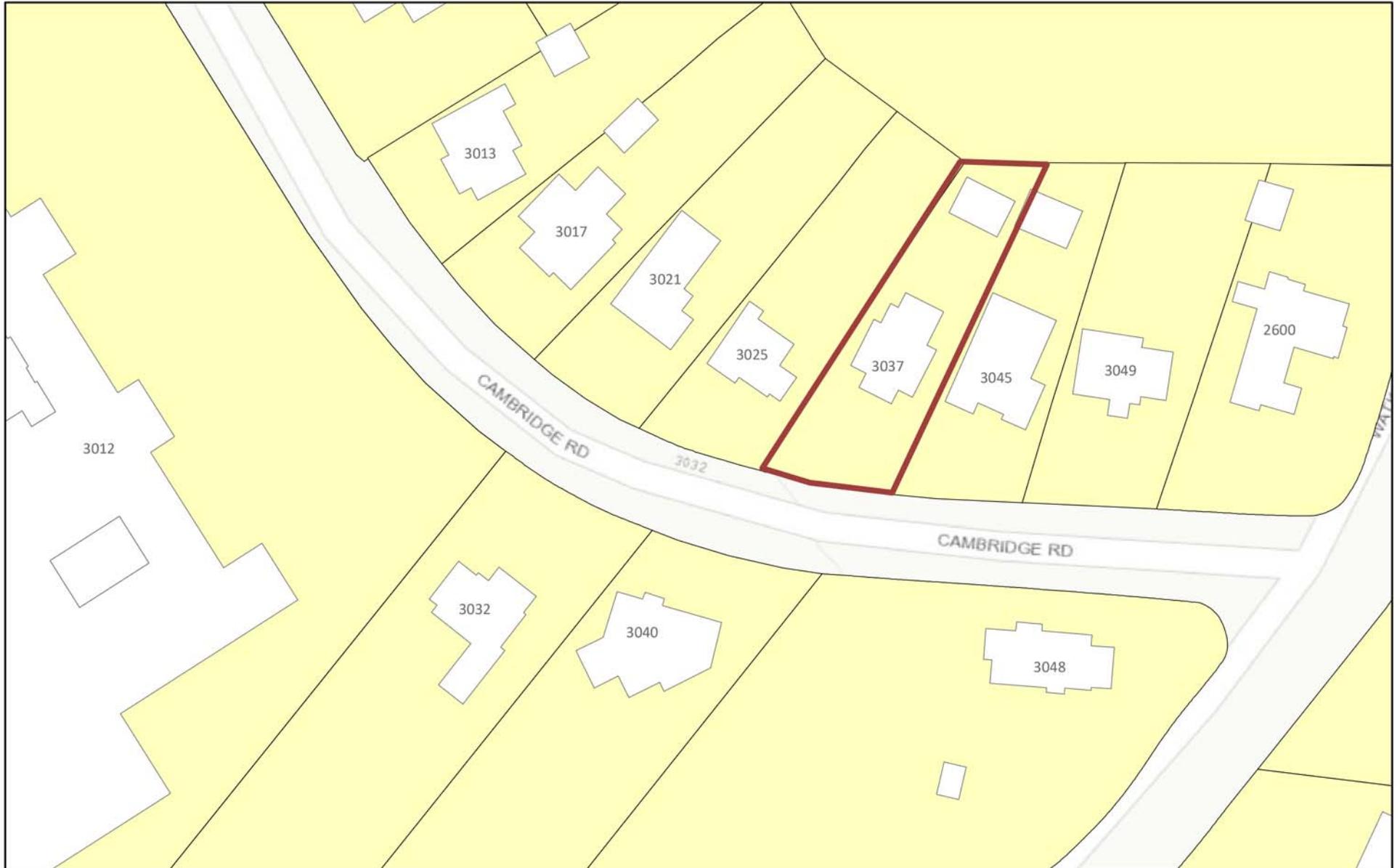
We are asking for approval to properly record this property with the Jefferson County Land Records Office. The original lot was sub-divided into two separate lots by the original developer when homes were built. The newly created lots were not properly recorded at that time.

Thank you for your consideration,



Eric Dale

P-20-21 Zoning

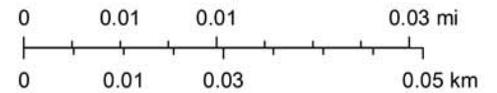


9/24/2020, 1:28:31 PM

Tax_Parcels

 Residence A District

1:1,128



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS,

ArcGIS Web AppBuilder

JeffCoAL, Esri, HERE, Garmin, INCREMENT P, USGS, EPA, USDA | Hunter Simmons | Jefferson County Information Technology Services |

P-20-21

Resurvey in Residence A zoning

- ✓ “Clean-up” resurvey combining portions of legacy lots.
- ☑ **May be approved as a final plat;** the following corrections for the final plat are required by the Subdivision Regulations, and **are suggested as conditions of approval:**
 1. Change MB signature blocks to "Mountain Brook Planning Commission Chairman" and "Mountain Brook Planning Commission Secretary."
 2. Add zoning: "Residence-A"
 3. List minimum setbacks: "front 40 feet, sides 15 feet, rear 40 feet."
 4. Change easement note to read as follows:
“All easements shown on this plat are for public utilities, sanitary sewers, storm sewers, and storm ditches and may be used for such purposes to serve property both within and without this subdivision. No permanent structure or other obstruction shall be located, except by the Public Works Department, within the limits of a dedicated easement.”
- ✓ Is an established building site that is non-conforming for the Residence A district with respect to lot width (75 feet in lieu of 100 feet) and lot size (11,504 sf in lieu of 30,000).
- ✓ **Overall layout is acceptable**, with the final plat to fully comply with all applicable requirements of the Mountain Brook Subdivision Regulations.
- ✓ No floodplain present.
- ✓ On August 17, 2020, the Board of Zoning Adjustment approved variance Case A-20-21, a request to allow additions and alterations to the existing nonconforming home to be located within the front setback at 35 feet in lieu of the required 40 feet, within the right side setback at 8 feet in lieu of the required 15 feet and within the left side setback at 10.8 feet in lieu of the required 15 feet.
- **Project Data:**

NAME: Resurvey of the West Half of Lot 309 Mountain Brook Estates

CURRENT ZONING: Residence A LOCATION: 3037 Cambridge Road

OWNERS: David and Jamie Waldrop

A RESURVEY OF THE WEST HALF OF LOT 309 OF MOUNTAIN BROOK ESTATES

(AS RECORDED IN MAP BOOK 19 PAGE 40)

SITUATED IN THE SE 1/4 OF SECTION 8, TOWNSHIP 18
SOUTH, RANGE 2 WEST, CITY OF MOUNTAIN BROOK,
JEFFERSON COUNTY, ALABAMA.

OWNER:
DAVID AND JAMIE WALDROP
3037 CAMBRIDGE ROAD
MOUNTAIN BROOK, AL 35223

PREPARED BY:
SOUTH CENTRAL SURVEYING, LLC
156 SUNSET TRAIL
ALABASTER, AL 35007
(205)-229-1993

South Central Surveying, LLC
RESIDENTIAL & COMMERCIAL LAND SURVEYING
156 SUNSET TRAIL
ALABASTER, ALABAMA 35007
PHONE 205-229-1993
EMAIL: buck@southcentralsurveying.com



PROJECT:
THE WEST 1/2 OF LOT 309, MOUNTAIN BROOK ESTATES
OWNER:
DAVID & JAMIE WALDROP
3037 CAMBRIDGE ROAD
MOUNTAIN BROOK, AL 35223

SHEET NO.:
1 of 1

PROJECT NO:
20-06107

JIM & MARGARET LITTLE
3004 OVERHILL ROAD
MOUNTAIN BROOK, AL 35223
PID # 28 00 08 1 010 005.000

LOT 107
1 1/4" PIPE
44.91'
114°34'46"

3/8" REBAR

LOT 308

LOT 309

JOHN & LAURIE PLACEY
3045 CAMBRIDGE ROAD
MOUNTAIN BROOK, AL 35223
PID # 28 00 08 4 004 006.000

LOT 309A
11,504 SQ. FT.

CAMBRIDGE ROAD
50' ROW

M STANFORD & KATHERINE H BLANTON
3025 CAMBRIDGE ROAD
MOUNTAIN BROOK, AL 35223
PID # 28 00 08 4 004 004.000

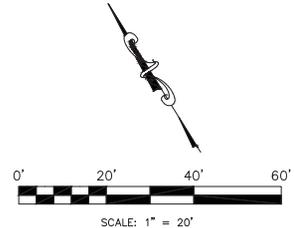
N 31°55'08" E 210.36'

S 2°51'24.46" W 205.06'

1" SQUARE ROD

CLINKSCALES

1 1/2" PIPE



STATE OF ALABAMA
JEFFERSON COUNTY

The undersigned, William D. Callahan, Jr., Professional Land Surveyor, State of Alabama, David Waldrop and Jamie Waldrop, as owners, hereby certify that this plat or map was made pursuant to a survey made by said surveyor and that said survey and this plat or map was made in the instance of said owner; that this plat or map is a true and correct map of lands shown therein known as A RESURVEY OF THE WEST HALF OF LOT 309, OF MOUNTAIN BROOK ESTATES, showing the sub-divisions into which it is proposed to divide said lands, giving the lengths and angles of each lot and its number, showing the streets, alleys and public grounds, giving the length and width and name of each street as well as the number of each lot and showing the relation of the lands to the recorded subdivision, and that iron pins have been installed at all lot corners and curve points as shown and are designated by small open circles on said plat or map. Said owners also certify that they are the owners of said lands and that the same are not subject to any mortgage, except a mortgage held by Iberia Bank. I further certify that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information, and belief.

By: William D. Callahan, Jr. Date: 08/13/2020
William D. Callahan, Jr., P.L.S.
AL Reg No 28251

I, the undersigned, a Notary Public in and for said county and state, do hereby certify that William D. Callahan, Jr., whose name is signed to the foregoing certificate as surveyor, and who is known to me, acknowledged before me, on this date, that after being duly informed of the contents of said certificate, does execute same voluntarily as such individual with full authority thereof.

Given under my hand and seal this the _____ day of _____, 2020.

Notary Public
MY COMMISSION EXPIRES _____

By: _____ DATE _____
David Waldrop, Owner

I, the undersigned, a Notary Public in and for said county and state, do hereby certify that David Waldrop, whose name is signed to the foregoing certificate as owner, and who is known to me, acknowledged before me, on this date that after being duly informed of the contents of said certificate, does execute same voluntarily as such individual with full authority thereof.

Given under my hand and seal this the _____ day of _____, 2020.

Notary Public
MY COMMISSION EXPIRES _____

By: _____ DATE _____
Jaime Waldrop, Owner

I, the undersigned, a Notary Public in and for said county and state, do hereby certify that Jamie Waldrop, whose name is signed to the foregoing certificate as owner, and who is known to me, acknowledged before me, on this date that after being duly informed of the contents of said certificate, does execute same voluntarily as such individual with full authority thereof.

Given under my hand and seal this the _____ day of _____, 2020.

Notary Public
MY COMMISSION EXPIRES _____

By: _____ DATE _____
Officer, Iberia Bank, Mortgagee

I, the undersigned, a Notary Public in and for said county and state, do hereby certify that _____, whose name is signed to the foregoing certificate as mortgagee, and who is known to me, acknowledged before me, on this date that after being duly informed of the contents of said certificate, does execute same voluntarily as such individual with full authority thereof.

Given under my hand and seal this the _____ day of _____, 2020.

Notary Public
MY COMMISSION EXPIRES _____

Mountain Brook City Engineer Date _____

Mountain Brook Planning Commission Date _____

Mountain Brook Manager Date _____

Director of Environmental Services
Approved In Format Only Date _____

Note:
Environmental Services Department approval indicates that easements have been dedicated for future Jefferson County sanitary sewers, however, this does not mean sanitary sewers have been built or will be built in the future. Any change in the right of way or easement boundaries after the date may void this approval

LEGEND	
● - IRON PIN FOUND (DESCRIPTION)	■ - CONCRETE.
○ - 1/2" CAPPED REBAR SET	D - DEED
⊗ - UTILITY POLE.	--- NOT TO SCALE.
ROW - RIGHT OF WAY.	AC. - ACRES.
—○— OVERHEAD UTILITY LINE(S).	CL - CENTERLINE.
→ - FENCE	D.B. - DEED BOOK.
⊕ - FIRE HYDRANT	M.B. - MAP BOOK
	P.L.B. - PLAT BOOK
	P.G. - PAGE.

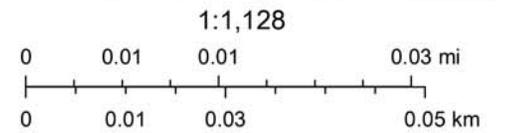
- NOTES:
- Unless otherwise shown or stated, all easements shown hereon are for storm sewers, sanitary sewers, public utilities, or ingress and egress, and are to serve property both within and without this subdivision.
 - Basis of bearing is based on plat.
 - Surface drainage not within the accepted and maintained Right-of-Way will not be maintained by City of Vestavia Hills.
 - Contractor and/or developer are responsible for providing building sites free of drainage problems.
 - No sub-surface investigation of geological conditions was performed by South Central Surveying, LLC; therefore no reference whatsoever is made as to the suitability for residential construction.
 - Consulted the latest Flood Insurance Rate Map (F.I.R.M.), Community Panel Number 01073C0557H, dated September 3, 2010, and found that the parcel shown DOES NOT lie in a special flood hazard area, Zone X.

C1
A=61.74'
R=350.60'
D=10°05'24"
B=N 81°53'07" W
C=61.66'

P-20-21 Aerial



9/24/2020, 1:32:22 PM



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS,

ArcGIS Web AppBuilder
Hunter Simmons | Jefferson County Information Technology Services | Maxar, Microsoft |



Planning Commission Application PART I

Project Data

Address of Subject Property #2 West Montcrest Drive

Zoning Classification B

Name of Property Owner(s) John Samuel Brien; Kristen Amanda Brien

Phone Number 678-427-4570 Email brienjs@gmail.com

Name of Representative Agent (if applicable)

Eric Dale

Phone Number 205-873-1676 Email eric@ericdale.com

Name of Engineer or Surveyor Buck Callahan

Phone Number 205-229-1993 Email buck@southcentralsurveying.com

Property owner or representative agent must be present at hearing

Plans

See applicable Section of the Zoning Ordinance for submittal requirements pertaining to your particular application. Applicable Code Section may be found in Part II, list of application types. Contact City Planner with any specific questions as to required plans submittal.

M I C H A E L E R I C D A L E

RESIDENCE DESIGN
INTERIOR DESIGN

September 10, 2020

Planning Commission
City of Mountain Brook, AL

Property Address: #2 West Montcrest Drive, Mountain Brook, AL 35213, Zone B
Property Owners: Kristen & John Brien

Dear Board Members:

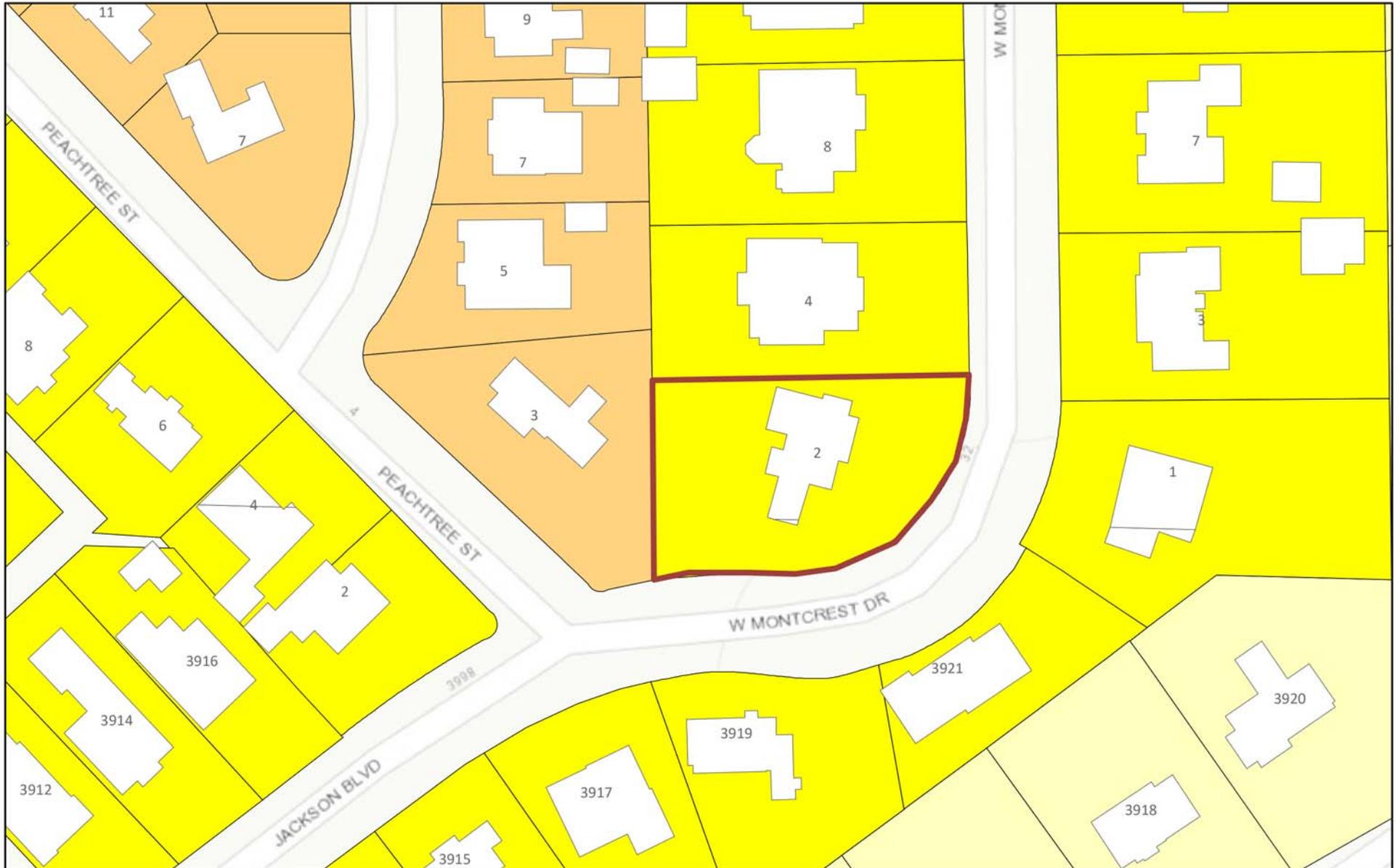
We are asking for approval to properly record this property with the Jefferson County Land Records Office. A portion of the original lot was sub-divided and added to the adjacent lot by the original developer when homes were built. The newly created lots were not properly recorded at that time.

Thank you for your consideration,



Eric Dale

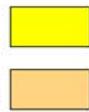
P-20-22 Zoning



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Tax_Parcels

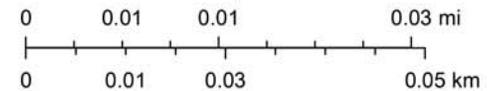
Residence A District



Residence B District

Residence C District

1:1,128



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS,

ArcGIS Web AppBuilder

JeffCoAL, Esri, HERE, Garmin, INCREMENT P, USGS, EPA, USDA | Hunter Simmons | Jefferson County Information Technology Services |

P-20-22

Resurvey in Residence B zoning

- ✓ “Clean-up” resurvey combining portions of legacy lots.
- ☑ **May be approved as a final plat.**
- ✓ Conforms to the Zoning Regulations for Residence-B.
- ✓ **Overall layout is acceptable**, with the final plat to fully comply with all applicable requirements of the Mountain Brook Subdivision Regulations.
- ✓ No floodplain present.
- ✓ On September 21, 2020, the Board of Zoning Adjustment approved variance **Case A-20-25**, a request to allow the additions to an existing single family dwelling to be 11.1 feet from the side property line (north) in lieu of the required 12.5 feet, and 21.6 feet from the secondary front property line (West Montcrest Drive) in lieu of the required 35 feet.

- **Project Data:**

NAME: A Resurvey of Part of Lot 5, Shades Valley Gardens, Second Sector

CURRENT ZONING: Residence B

OWNERS: John and Kristen Brien

LOCATION: 2 West Montcrest Drive

A RESURVEY OF PART OF LOT 5, SHADES VALLEY GARDENS, SECOND SECTOR

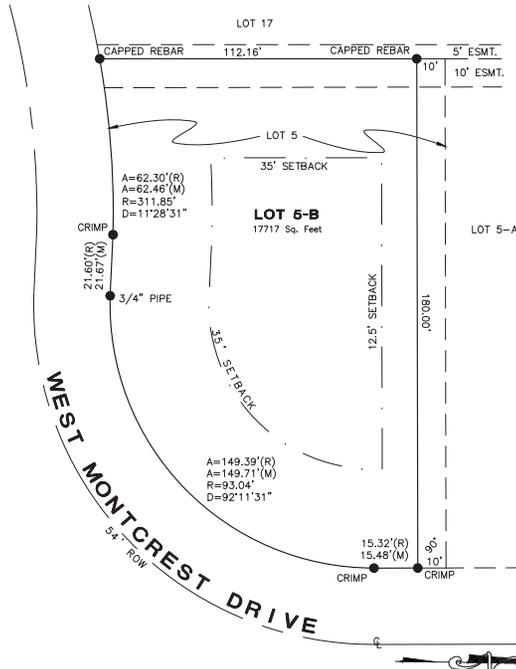
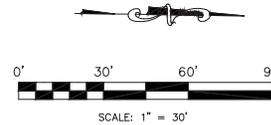
(AS RECORDED IN MAP BOOK 25 PAGE 55)

SITUATED IN THE SE 1/4 OF SECTION 8, TOWNSHIP 18
SOUTH, RANGE 2 WEST, CITY OF MOUNTAIN BROOK,
JEFFERSON COUNTY, ALABAMA.

ZONED: RESIDENCE B

OWNER:
JOHN AND KRISTEN BRIEN
2 WEST MONTCREST DRIVE
MOUNTAIN BROOK, AL 35223

PREPARED BY:
SOUTH CENTRAL SURVEYING, LLC
156 SUNSET TRAIL
ALABASTER, AL 35007
(205)-229-1993



STATE OF ALABAMA
JEFFERSON COUNTY

The undersigned, William D. Callahan, Jr., Professional Land Surveyor, State of Alabama, John Samuel Brien and Kristen Amanda Brien, as owners, hereby certify that this plat or map was made pursuant to a survey made by said surveyor and that said survey and this plat or map was made in the instance of said owner; that this plat or map is a true and correct map of lands shown therein known as A RESURVEY OF PART OF LOT 5, SHADES VALLEY GARDENS, SECOND SECTOR, showing the sub-divisions into which it is proposed to divide said lands, giving the lengths and angles of each lot and its number, showing the streets, alleys and public grounds, giving the length and width and name of each street as well as the number of each lot and showing the relation of the lands to the recorded subdivision, and that iron pins have been installed at all lot corners and curve points as shown and are designated by small open circles on said plat or map. Said owners also certify that they are the owners of said lands and that the same are not subject to any mortgage, except a mortgage held by Renasant Bank. I further certify that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information, and belief.

By: William D. Callahan, Jr. Date 09/28/2020
William D. Callahan, Jr., P.L.S.
AL Reg No 28251

I, the undersigned, a Notary Public in and for said county and state, do hereby certify that William D. Callahan, Jr., whose name is signed to the foregoing certificate as surveyor, and who is known to me, acknowledged before me, on this date, that after being duly informed of the contents of said certificate, does execute same voluntarily as such individual with full authority thereof.

Given under my hand and seal this the _____ day of _____, 2020.

Notary Public
MY COMMISSION EXPIRES _____

By: _____ DATE _____
John Samuel Brien, Owner

I, the undersigned, a Notary Public in and for said county and state, do hereby certify that John Samuel Brien, whose name is signed to the foregoing certificate as owner, and who is known to me, acknowledged before me, on this date that after being duly informed of the contents of said certificate, does execute same voluntarily as such individual with full authority thereof.

Given under my hand and seal this the _____ day of _____, 2020.

Notary Public
MY COMMISSION EXPIRES _____

By: _____ DATE _____
Kristen Amanda Brien, Owner

I, the undersigned, a Notary Public in and for said county and state, do hereby certify that Kristen Amanda Brien, whose name is signed to the foregoing certificate as owner, and who is known to me, acknowledged before me, on this date that after being duly informed of the contents of said certificate, does execute same voluntarily as such individual with full authority thereof.

Given under my hand and seal this the _____ day of _____, 2020.

Notary Public
MY COMMISSION EXPIRES _____

By: _____ DATE _____
Officer, Renasant Bank, Mortgagee

I, the undersigned, a Notary Public in and for said county and state, do hereby certify that _____ whose name is signed to the foregoing certificate as mortgagee, and who is known to me, acknowledged before me, on this date that after being duly informed of the contents of said certificate, does execute same voluntarily as such individual with full authority thereof.

Given under my hand and seal this the _____ day of _____, 2020.

Notary Public
MY COMMISSION EXPIRES _____

Mountain Brook Planning Commission Chairman Date _____

Mountain Brook Planning Commission Secretary Date _____

Director of Environmental Services Date _____
Approved in Format Only

Note:
Environmental Services Department approval indicates that easements have been dedicated for future Jefferson County sanitary sewers; however, this does not mean sanitary sewers have been built or will be built in the future. Any change in the right of way or easement boundaries after the date may void this approval

NOTES:

- All easements shown on this plat are for public utilities, sanitary sewers, storm sewers, and storm ditches and may be used for such purposes to serve property both within and without this subdivision. No permanent structure or other obstruction shall be located, except by the Public Works Department, within the limits of a dedicated easement.
- Basis of bearing is based on plat.
- Surface drainage not within the accepted and maintained Right-Of-Way will not be maintained by City of Vestavia Hills.
- Contractor and/or developer are responsible for providing building sites free of drainage problems.
- No sub-surface investigation of geological conditions was performed by South Central Surveying, LLC; therefore no reference whatsoever is made as to the suitability for residential construction.
- Consulted the latest Flood Insurance Rate Map (F.I.R.M.), Community Panel Number D1073004130, dated September 29, 2006, and found that the parcel shown DOES NOT lie in a special flood hazard area, Zone X.

LEGEND	
● - IRON PIN FOUND (DESCRIPTION)	CONCRETE
○ - 1/2" CAPPED REBAR SET	D - DEED
Ø - UTILITY POLE.	NOT TO SCALE.
ROW - RIGHT OF WAY.	AC. - ACRES.
— OVERHEAD UTILITY LINE(S).	CL - CENTERLINE
— FENCE	D.B. - DEED BOOK
⊕ - FIRE HYDRANT	M.B. - MAP BOOK
	P.B. - PLAT BOOK
	PG. - PAGE.

South Central Surveying, LLC
RESIDENTIAL & COMMERCIAL LAND SURVEYING
156 SUNSET TRAIL
ALABASTER, ALABAMA 35007
PHONE 205-229-1993
EMAIL: buck@southcentralsurveying.com



PROJECT: RESURVEY PART OF 5, SHADES VALLEY GARDENS, SECOND SECTOR
OWNER: JOHN & KRISTEN BRIEN
2 WEST MONTCREST DRIVE
MOUNTAIN BROOK, AL 35223

SHEET No:
1 of 1

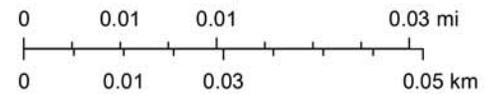
PROJECT NO:
20-06017

P-20-22 Aerial



9/24/2020, 1:56:22 PM

1:1,128



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS,

ArcGIS Web AppBuilder
Hunter Simmons | Jefferson County Information Technology Services | Maxar, Microsoft |



Planning Commission Application PART I

Project Data

Address of Subject Property 2422 PARK LANE SOUTH

Zoning Classification RESIDENCE ~~A~~ C

Name of Property Owner(s) LARRY LAVENDER

Phone Number _____ Email _____

Name of Representative Agent (if applicable)

RAY WEYGAND

Phone Number 205-942-0086 Email ray@weygandsurveyor.com

Name of Engineer or Surveyor RAY WEYGAND

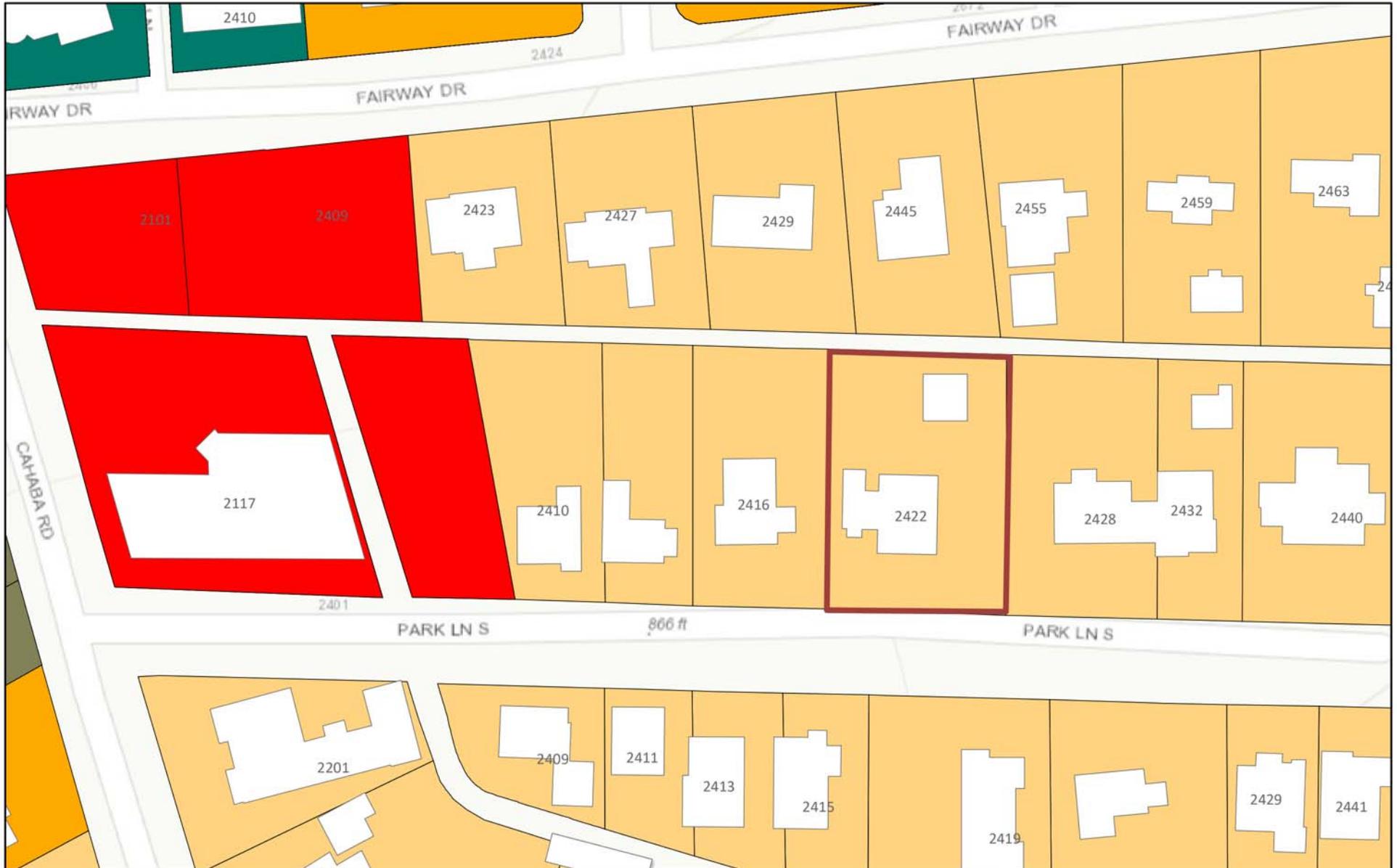
Phone Number 205-942-0086 Email ray@weygandsurveyor.com

Property owner or representative agent must be present at hearing

Plans

See applicable Section of the Zoning Ordinance for submittal requirements pertaining to your particular application. Applicable Code Section may be found in Part II, list of application types. Contact City Planner with any specific questions as to required plans submittal.

P-20-24 Zoning



9/24/2020, 2:26:23 PM

Tax_Parcels

Local Business District



MXD



Professional District

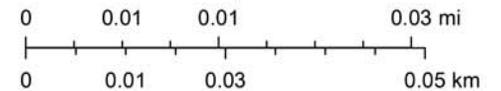


Residence C District



Residence D District

1:1,128



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS,

ArcGIS Web AppBuilder

JeffCoAL, Esri, HERE, Garmin, INCREMENT P, USGS, EPA, USDA | Hunter Simmons | Jefferson County Information Technology Services |

P-20-24

Resurvey in Residence C zoning

- ✓ “Clean-up” resurvey combining portions of legacy lots.
- ☑ **May be approved as a final plat;** the following corrections for the final plat are required by the Subdivision Regulations, and **are suggested as conditions of approval:**
 - 1) note zoning district (Residence C) on plat;
 - 2) add the following easement note: “All easements shown on this plat are for public utilities, sanitary sewers, storm sewers, and storm ditches and may be used for such purposes to serve property both within and without this subdivision. No permanent structure or other obstruction shall be located, except by the Public Works Department, within the limits of a dedicated easement.”
- ✓ **Overall layout is acceptable,** with the final plat to fully comply with all applicable requirements of the Mountain Brook Subdivision Regulations.
- ✓ No floodplain present.
- ✓ No relevant history or prior cases.
- **Project Data:**

NAME: Lavender Resurvey of Park Lane South

CURRENT ZONING: Residence C

OWNER: Larry Lavender

LOCATION: 2422 Park Lane South

LAVENDER RESURVEY OF PARK LANE SOUTH

BEING A RESURVEY OF THE EAST HALF OF LOT 7,
LOT 6 & THE WEST HALF OF LOT 5,
BLOCK 9 OF THE FIRST ADDITION TO SOUTH HIGHLANDS,
AS RECORDED IN MAP VOLUME 7 PAGES 105 & 106

LOCATED IN THE SE $\frac{1}{4}$ OF
SECTION 6, TOWNSHIP 18 SOUTH, RANGE 2 WEST
JEFFERSON COUNTY, ALABAMA

WEYGAND SURVEYORS, INC.
Ray Weygand, Reg. L.S. #24973
169 Oxmoor Road, Homewood, AL 35209
Phone: (205) 942-0086 Fax: (205) 942-0087



SCALE: 1"=20'

DATE: SEPTEMBER 2020

- LEGEND**
- SQ. FT..... SQUARE FEET
 - AC..... ACRES
 - +/-..... MORE OR LESS
 - Δ..... DELTA ANGLE
 - d..... DEFLECTION ANGLE
 - T..... TANGENT
 - R..... RADIUS
 - CH..... CHORD
 - L..... LENGTH
 - ESMT..... EASEMENT
 - EX..... EXISTING
 - M.B..... MAP BOOK
 - PG..... PAGE
 - FND..... FOUND
 - ROW..... RIGHT-OF-WAY
 - O..... REBAR SET
 - MIN..... MINIMUM
 - C..... CENTERLINE
 - D.B..... DEED BOOK
 - NOT TO SCALE



STATE OF ALABAMA
JEFFERSON COUNTY

The undersigned, Ray Weygand, Registered Land Surveyor, State of Alabama, and Larry Lavender, the Owner, hereby certify that this plot or map was made pursuant to a survey made by said surveyor, and that this plot or map was made at the instance of said owner, that this plot or map is a true and correct plot or map of land shown therein and known or to be known as LAVENDER RESURVEY OF PARK LANE SOUTH, showing the storage into which it is proposed to divide said lands, giving the length and bearings of the boundaries of each lot and its number, showing the streets, alleys and public grounds, giving the bearings, length, width and name of each street, as well as the number of each lot and block, and showing the relation of the lands in the government survey of Section 6, Township 18 South, Range 2 West, and that iron pins have been installed at all lot corners and curve points as shown and designated by small open circles on said plot or map. I, Ray Weygand, hereby state that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information and belief. Said owner also certifies that it is the owner of said lands.

In Witness Whereof, we have hereunto set our hands this the 10 day of SEPTEMBER, 2020.

By: Ray Weygand
Reg. L.S. #24973

By: Larry Lavender
Larry Lavender - Owner

STATE OF ALABAMA
JEFFERSON COUNTY

I, Jeanne Weygand, a Notary Public in and for said County and State hereby certify that Ray Weygand, whose name is signed to the foregoing certificate as Land Surveyor and who is known to me, acknowledged before me, on this day, that being informed of the contents of the certificate, he executed the same voluntarily on the day the same bears date.

Given under my hand and seal this 10 day of September, 2020.

By: Jeanne Weygand
Notary Public - My commission expires 2/20/22



STATE OF ALABAMA
JEFFERSON COUNTY

I, Jeanne Weygand, a Notary Public in and for said County and State hereby certify that Larry Lavender, whose name is signed to the foregoing certificate as Owner, and who is known to me, acknowledged before me, on this day that, being informed of the contents of the certificate, she executed same voluntarily on the day the same bears date.

Given under my hand and seal this 10th day of September, 2020.

By: Jeanne Weygand
Notary Public - My commission expires 2/20/22



APPROVED: _____ DATE: _____
Chairman, Mountain Brook Planning Commission

APPROVED: _____ DATE: _____
Secretary, Mountain Brook Planning Commission

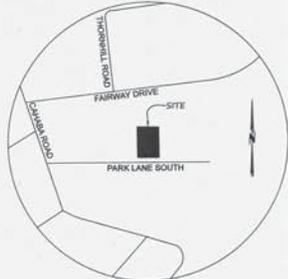
NOTE:
Environmental Services Department approval indicates that easements have been dedicated for future Jefferson County sanitary sewers however this does not mean sanitary sewers have been built or will be built in the future. Any change in the Right-of-Way or Easement boundaries after this date may void this approval.

APPROVED: _____ DATE: _____
Director of Environmental Service

NOTES:
ALL EASEMENTS ON THIS MAP ARE FOR PUBLIC UTILITIES, SANITARY SEWERS, STORM SEWERS, STORM DITCHES, PRIVATE TELEVISION CABLE SYSTEMS, AND MAY BE USED FOR SUCH PURPOSES TO SERVE PROPERTY BOTH WITHIN AND WITHOUT THIS SUBDIVISION (UNLESS OTHERWISE NOTED). NO PERMANENT STRUCTURE OR OTHER OBSTRUCTION SHALL BE LOCATED WITHIN THE LIMITS OF A DEDICATED EASEMENT.

- BUILDER IS RESPONSIBLE FOR THE DRAINAGE ON EACH LOT AND IN AND AROUND EACH BUILDING.
- BUILDER WILL BE RESPONSIBLE FOR ADJUSTING THE LIDS OR TOP ELEVATION FOR ALL MANHOLES AND YARD INLETS ON EACH LOT.
- THE LOT OWNER/BUILDER SHALL USE APPROPRIATE METHODS, WHETHER PIPES, UNDERDRAIN, DITCHES, GRADING OR OTHER MEANS, TO PROVIDE A BUILDING SITE FREE OF SURFACE OR SUBSURFACE DRAINAGE PROBLEMS WITHOUT ADVERSELY AFFECTING ADJACENT LOTS.
- THE LOT OWNER/BUILDER SHALL FIELD VERIFY THE LOCATION AND ELEVATION OF SANITARY SEWER SERVICE LINE OR SEPTIC TANK LOCATION PRIOR TO CONSTRUCTION OF BUILDING FOUNDATIONS.
- ELEVATION OF ALL SANITARY SEWER LATERALS TO EACH LOT SHOULD BE VERIFIED BY BUILDER PRIOR TO SETTING LOWEST FLOOR OF RESIDENCE TO BE SERVICED.
- NO HOUSE SHALL HAVE A FINISHED FLOOR ELEVATION LESS THAN TWO (2) FEET ABOVE TOP OF ANY ADJACENT STORM SEWER WITHOUT ENGINEER'S APPROVAL.
- NO FENCE SHALL IMPEDE THE FLOW OF WATER IN ANY DRAINAGE WAY.
- WEYGAND SURVEYORS, INC. IS NOT RESPONSIBLE FOR SOIL COMPACTIONS AND DID NOT CONDUCT ANY SURFACE OR SUBSURFACE INVESTIGATIONS.
- NORTH ARROW SHOWN ON THIS MAP IS NOT TRUE NORTH AND SHOULD ONLY BE CONSIDERED AS APPROXIMATE.

VICINITY MAP
(NOT TO SCALE)



NOTE:
THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA (ZONE "X") AS PER MAP NO. 01073C0557H, DATED SEPTEMBER 03, 2010.

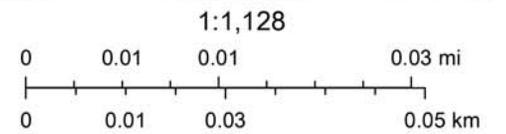
ZONED : RESIDENCE A
FRONT SETBACK — 35 FEET
REAR SETBACK — 35 FEET
SIDE SETBACK — 10 FEET



P-20-24 Aerial



9/24/2020, 2:33:05 PM



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS,

ArcGIS Web AppBuilder
Hunter Simmons | Jefferson County Information Technology Services | Maxar, Microsoft |



Planning Commission Application PART I

Project Data

Address of Subject Property 4111 ABINGDON LN

Zoning Classification ESTATE

Name of Property Owner(s) WILLIAM C. HAZELRIG

Phone Number _____ Email chiph@whinv.com

Name of Representative Agent (if applicable)

RAY WEYGAND

Phone Number 205-942-0086 Email ray@weygandsurveyor.com

Name of Engineer or Surveyor RAY WEYGAND

Phone Number 205-942-0086 Email ray@weygandsurveyor.com

Property owner or representative agent must be present at hearing

Plans

See applicable Section of the Zoning Ordinance for submittal requirements pertaining to your particular application. Applicable Code Section may be found in Part II, list of application types. Contact City Planner with any specific questions as to required plans submittal.

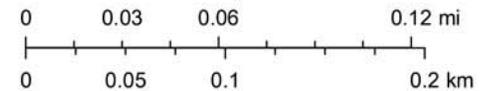
P-20-25 Zoning



9/24/2020, 3:04:41 PM

- LotLines
- Tax_Parcels
- MXD
- Estate Residence District
- Residence A District

1:4,514



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS,

ArcGIS Web AppBuilder

JeffCoAL, Esri, HERE, Garmin, INCREMENT P, USGS, EPA, USDA | Hunter Simmons | Jefferson County Information Technology Services |

P-20-25

Resurvey in existing Residence A zoning

- ✓ The purpose of this resurvey is to establish the setback configuration on existing lots 1-B and 2-B, and an ingress easement for Lot 3-B. Three lots already exist; no increase in the number of lots is proposed.
- ☑ **May be approved as a final plat.**
- ✓ Meets the Zoning Regulations for the Estate Residence district.
- ✓ **Overall layout is acceptable**, with the final plat to fully comply with all applicable requirements of the Mountain Brook Subdivision Regulations.
- ✓ No floodplain present.
- ✓ No relevant history or prior cases.
- **Project Data:**

NAME: Hazelrig Abingdon Road Resurvey

CURRENT ZONING: Estate Residence

OWNER: William C. Hazelrig

LOCATION: 4111 Abingdon Lane

- LEGEND**
- SQ. FT. SQUARE FEET
 - AC. ACRES
 - M. MORE OR LESS
 - Δ DELTA ANGLE
 - ∠ DEFLECTION ANGLE
 - T. TANGENT
 - R. RADIUS
 - CH. CHORD
 - L. LENGTH
 - ESMT. EASEMENT
 - EX. EXISTING
 - M.B. MAP BOOK
 - PG. PAGE
 - FD. FOUND
 - ROW. RIGHT-OF-WAY
 - O. REBAR SET
 - MIN. MINIMUM
 - E. CENTERLINE
 - D.B. DEED BOOK
 - NOT TO SCALE

HAZELRIG ABINGDON ROAD RESURVEY

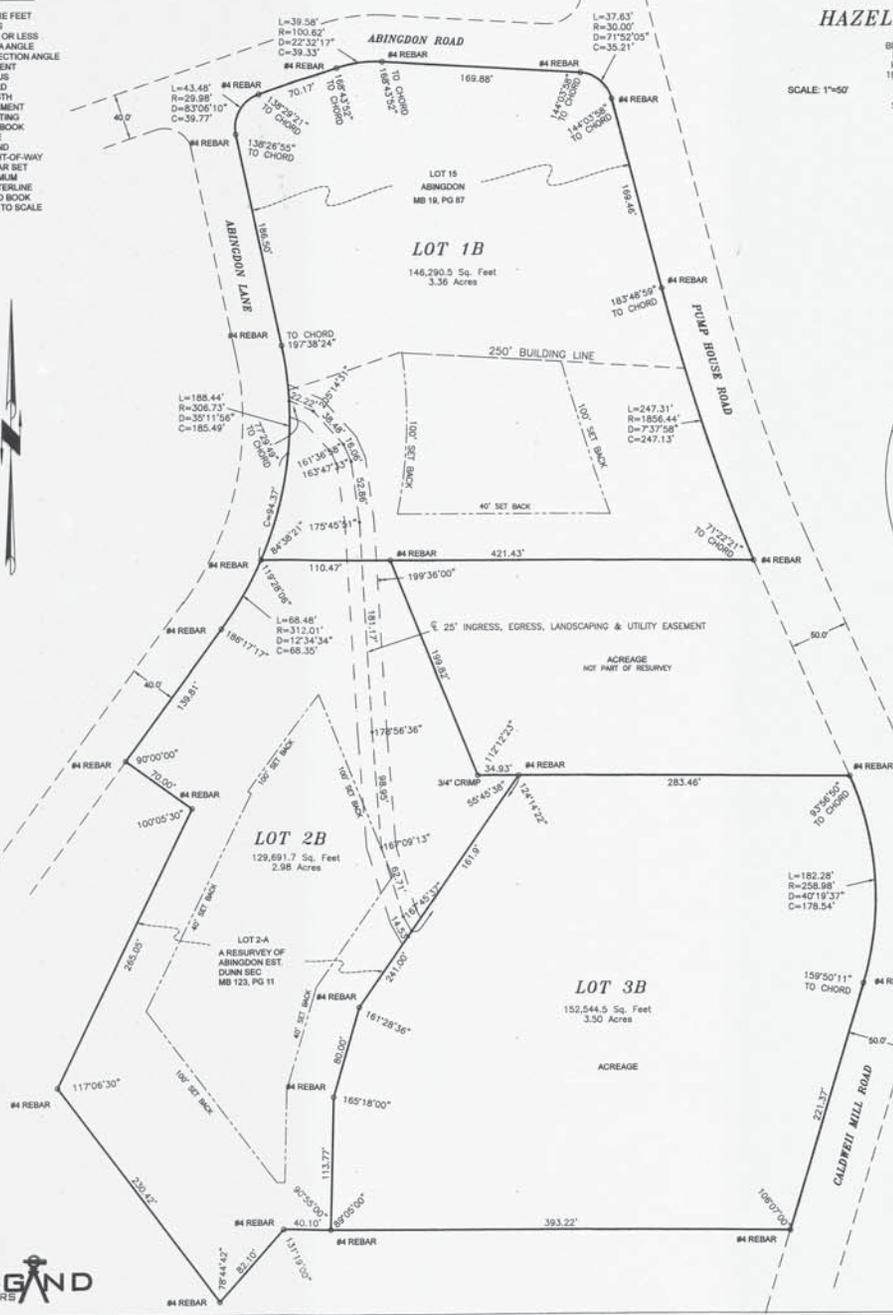
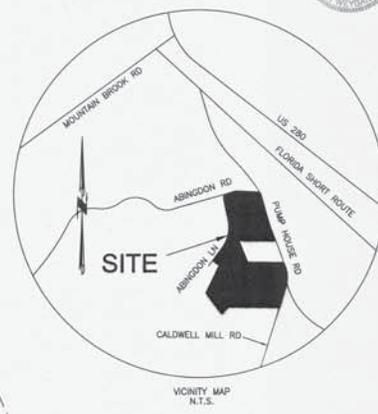
BEING A RESURVEY OF LOT 2-A OF A RESURVEY OF ABINGDON ESTATES - DUNN SECTOR AS RECORDED IN MAP BOOK 123, PAGE 11 AND LOT 15 ABINGDON AS RECORDED IN MAP BOOK 19, PAGE 87 BOTH IN THE OFFICE OF THE JUDGE OF PROBATE, JEFFERSON COUNTY, ALABAMA AND ACRES

SCALE: 1"=50'

AUGUST 2020

SITUATED IN THE NW 1/4 OF SECTION 21, TOWNSHIP 18 SOUTH, RANGE 2 WEST, JEFFERSON COUNTY, ALABAMA

WEYGAND SURVEYORS, INC.
 Roy Weygand, Reg. L.S. #24973
 169 Ocmulgee Road, Homewood, AL 35209
 Phone: (205) 942-0088 Fax: (205) 942-0087



Zoned Estate Residence District
 Front setback = 100'
 Rear setback = 100'
 Side setback = 40'

STATE OF ALABAMA
 JEFFERSON COUNTY

The undersigned, Roy Weygand, Registered Land Surveyor, State of Alabama, and William C. Hazelrig, Owner, hereby certify that this plat or map was made pursuant to a survey made by said surveyor, and that this plat or map was made at the instance of said owner, that this plat or map is a true and correct plat or map of land shown therein and known or to be known as HAZELRIG ABINGDON ROAD RESURVEY, showing the subdivisions into which it is proposed to divide said lands, giving the length and bearings of the boundaries of each lot and its number, showing the streets, alleys and public grounds, giving the bearings, length, width and name of each street, as well as the number of each lot and block, and showing the relation of the lands to the map of Abingdon (Map Book 19, Page 87) and A Resurvey of Abingdon Estates - Dunn Sector (Map Book 123, Page 11) and to government survey of Sections 21, Township 18 South, Range 2 West, and that iron pins have been installed at all lot corners and curve points as shown and designated by small open circles on said plat or map. I, Roy Weygand, hereby state that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information and belief. Said owner also certifies that it is the owner of said lands.

In Witness Whereof, we have hereunto set our hands this 12 day of MARCH, 2019.

By: Roy Weygand
 Roy Weygand
 Reg. L.S. #24973

By: William C. Hazelrig
 William C. Hazelrig - Owner

STATE OF ALABAMA
 JEFFERSON COUNTY

Deanna Weygand, a Notary Public in and for said County and State hereby certify that Roy Weygand, whose name is signed to the foregoing certificate as Land Surveyor and who is known to me, acknowledged before me, on this day, that being informed of the contents of the certificate, she executed the same voluntarily on the day the same bears date.

Given under my hand and seal this 10th day of March, 2019.

By: Deanna Weygand
 Notary Public - My commission expires 3-20-22



STATE OF ALABAMA
 JEFFERSON COUNTY

Deanna Weygand, a Notary Public in and for said County and State hereby certify that William C. Hazelrig, whose name is signed to the foregoing certificate as Owner, and who is known to me, acknowledged before me, on this day, that being informed of the contents of the certificate, she executed the same voluntarily on the day the same bears date.

Given under my hand and seal this 10th day of March, 2019.

By: Deanna Weygand
 Notary Public - My commission expires 3-20-22



APPROVED: _____ DATE: _____
 Chairman, Mountain Brook Planning Commission

APPROVED: _____ DATE: _____
 Secretary, Mountain Brook Planning Commission

APPROVED: [Signature] DATE: 8-24-2020
 Jefferson County Health Department

NOTES:
 ALL EASEMENTS ON THIS MAP ARE FOR PUBLIC UTILITIES, SANITARY SEWERS, STORM SEWERS, STORM DITCHES, PRIVATE TELEVISION CABLE SYSTEMS, AND MAY BE USED FOR SUCH PURPOSES TO SERVE PROPERTY BOTH WITHIN AND WITHOUT THIS SUBDIVISION (UNLESS OTHERWISE NOTED). NO PERMANENT STRUCTURE OR OTHER OBSTRUCTION SHALL BE LOCATED WITHIN THE LIMITS OF A DEDICATED EASEMENT.

BUILDER IS RESPONSIBLE FOR THE DRAINAGE ON EACH LOT AND IN AND AROUND EACH BUILDING.
 BUILDER WILL BE RESPONSIBLE FOR ADJUSTING THE LIDS OR TOP ELEVATION FOR ALL MANHOLES AND YARD INLETS ON EACH LOT.

THE LOT OWNER/BUILDER SHALL USE APPROPRIATE METHODS, WHETHER PIPES, UNDERDRAIN, DITCHES, GRADING OR OTHER MEANS, TO PROVIDE A BUILDING SITE FREE OF SURFACE OR SUBSURFACE DRAINAGE PROBLEMS WITHOUT ADVERSELY AFFECTING ADJACENT LOTS.

THE LOT OWNER/BUILDER SHALL FIELD VERIFY THE LOCATION AND ELEVATION OF SANITARY SEWER SERVICE LINE OR SEPTIC TANK LOCATION PRIOR TO CONSTRUCTION OF BUILDING FOUNDATIONS.

ELEVATION OF ALL SANITARY SEWER LATERALS TO EACH LOT SHOULD BE VERIFIED BY BUILDER PRIOR TO SETTING LOWEST FLOOR OF RESIDENCE TO BE SERVICED.

NO HOUSE SHALL HAVE A FINISHED FLOOR ELEVATION LESS THAN TWO (2) FEET ABOVE TOP OF ANY ADJACENT STORM SEWER WITHOUT ENGINEER'S APPROVAL.

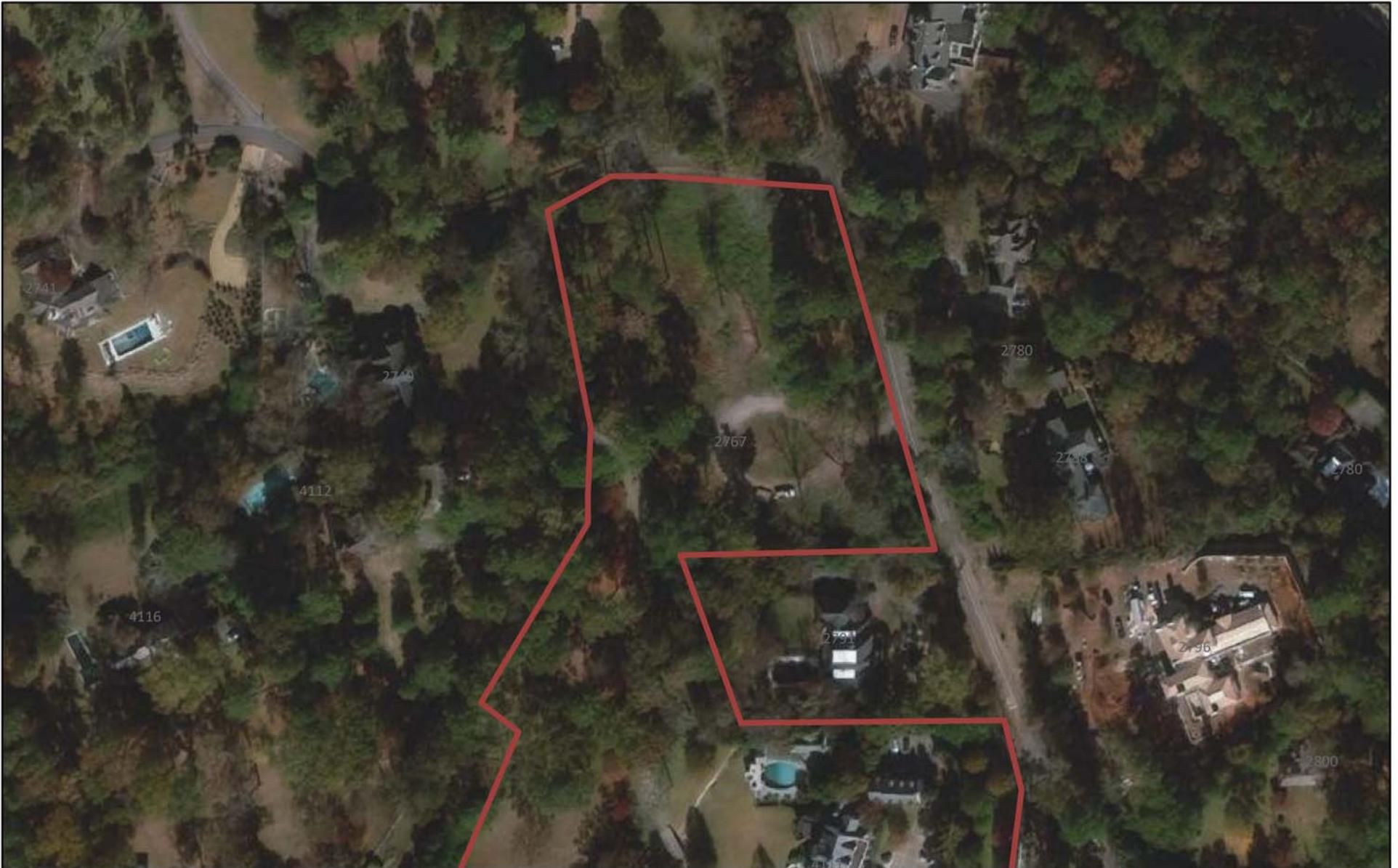
NO FENCE SHALL IMPEDE THE FLOW OF WATER IN ANY DRAINAGE WAY.
 WEYGAND SURVEYORS, INC. IS NOT RESPONSIBLE FOR SOIL COMPACTIONS AND DID NOT CONDUCT ANY SURFACE OR SUBSURFACE INVESTIGATIONS.

NORTH ARROW SHOWN ON THIS MAP IS NOT TRUE NORTH AND SHOULD ONLY BE CONSIDERED AS APPROXIMATE.

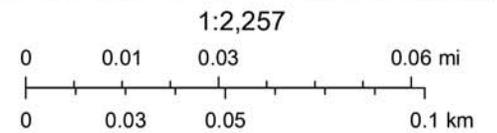
NOTE:
 THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA (ZONE "X") AS PER MAP NO. 61973C8599H, DATED SEPTEMBER 3, 2016.



P-20-25 (N) Aerial



9/24/2020, 3:11:57 PM



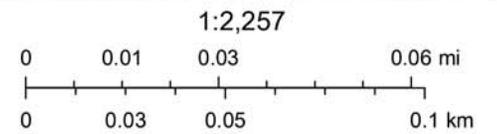
Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS,

ArcGIS Web AppBuilder
Hunter Simmons | Jefferson County Information Technology Services | Maxar, Microsoft |

P-20-25 Aerial



9/24/2020, 3:07:49 PM



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS,

ArcGIS Web AppBuilder
Hunter Simmons | Jefferson County Information Technology Services | Maxar, Microsoft |



Planning Commission Application PART I

Project Data

Address of Subject Property 3901 & 3905 SEVEN BARK CIR

Zoning Classification RESIDENCE A

Name of Property Owner(s) TOM MCKINNON & CHRISTOPHER COOPER

Phone Number _____ Email _____

Name of Representative Agent (if applicable)

RAY WEYGAND

Phone Number 205-942-0086 Email ray@weygandsurveyor.com

Name of Engineer or Surveyor RAY WEYGAND

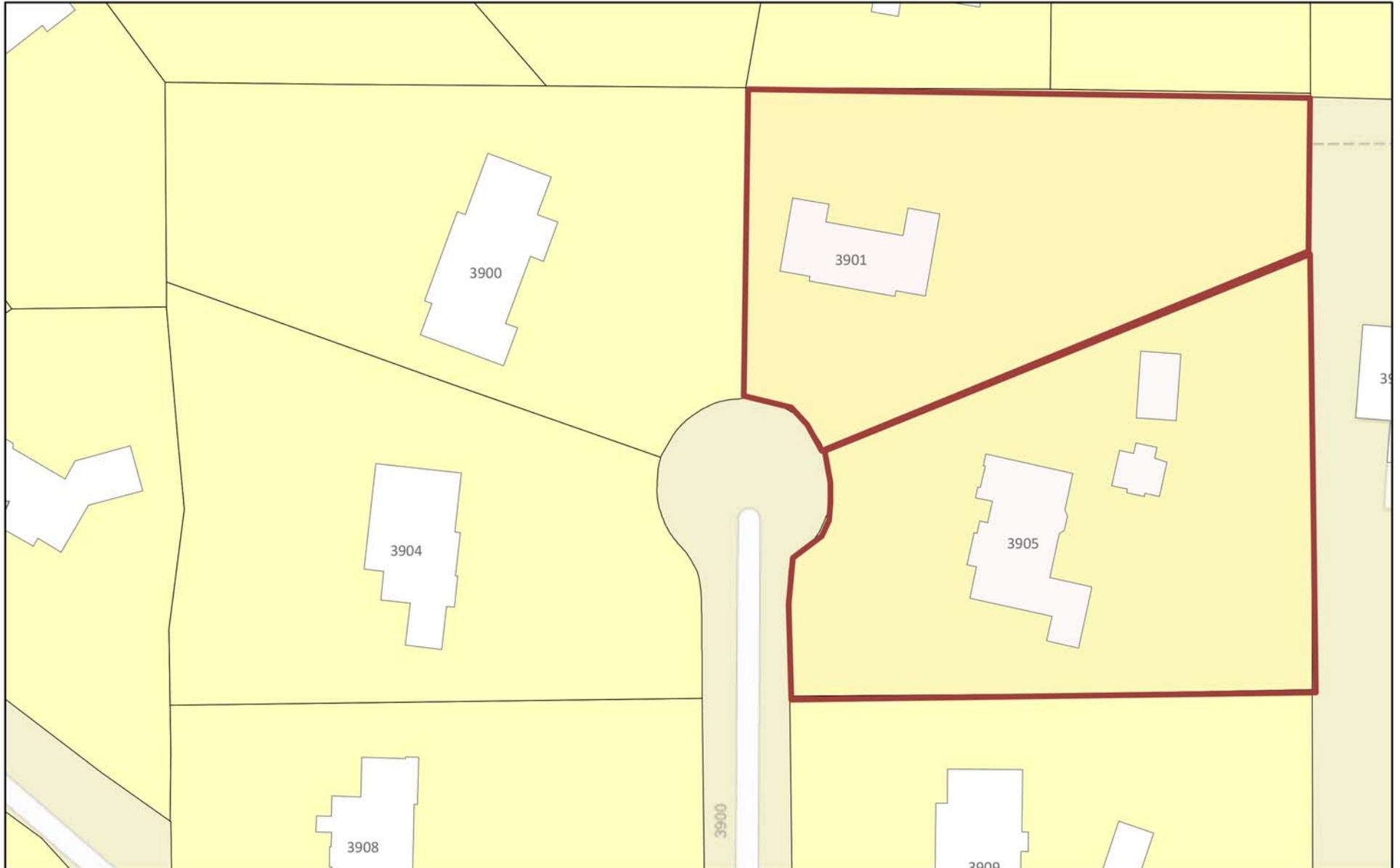
Phone Number 205-942-0086 Email ray@weygandsurveyor.com

Property owner or representative agent must be present at hearing

Plans

See applicable Section of the Zoning Ordinance for submittal requirements pertaining to your particular application. Applicable Code Section may be found in Part II, list of application types. Contact City Planner with any specific questions as to required plans submittal.

P-20-26 Zoning 2

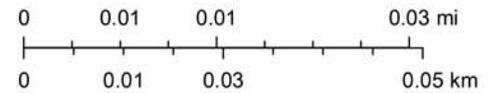


9/25/2020, 12:16:01 PM

Tax_Parcels

 Residence A District

1:1,128



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan,

ArcGIS Web AppBuilder

Hunter Simmons | Jefferson County Information Technology Services | JeffCoAL, Esri, HERE, Garmin, INCREMENT P, NGA, USGS |

P-20-26

Resurvey in Residence A zoning

- ✓ Resurvey lot line adjustment at the rear of the lots.
- ☑ **May be approved as a final plat;** the following correction for the final plat are required by the Subdivision Regulations, and **is suggested as a condition of approval:**

1) revise easement note per Section 4.6 of the Subdivision regulations;

- ✓ Meets the Zoning Regulations for the Residence A district.
- ✓ **Overall layout is acceptable**, with the final plat to fully comply with all applicable requirements of the Mountain Brook Subdivision Regulations.
- ✓ No floodplain present.
- ✓ No relevant history or prior cases.

- **Project Data:**

NAME: Resurvey of Lots 10 & 9 of Andrew's Addition to Knollwood

CURRENT ZONING: Residence A

OWNERS: Tom McKinnon and Christopher Cooper

LOCATION: 3901 and 3905 Seven Bark Circle

- LEGEND**
- SQ. FT. SQUARE FEET
 - AC. ACRES
 - M. MORE OR LESS
 - Δ DELTA ANGLE
 - ∠ DEFLECTION ANGLE
 - T. TANGENT
 - R. RADIUS
 - CH. CHORD
 - L. LENGTH
 - ESMT. EASEMENT
 - EX. EXISTING
 - M.B. MAP BOOK
 - PG. PAGE
 - FND. FOUND
 - ROW. RIGHT-OF-WAY
 - O. REBAR SET
 - MIN. MINIMUM
 - C. CENTERLINE
 - D.B. DEED BOOK
 - /- NOT TO SCALE

RESURVEY OF LOT 10 & 9 OF ANDREWS ADDITION TO KNOLLWOOD

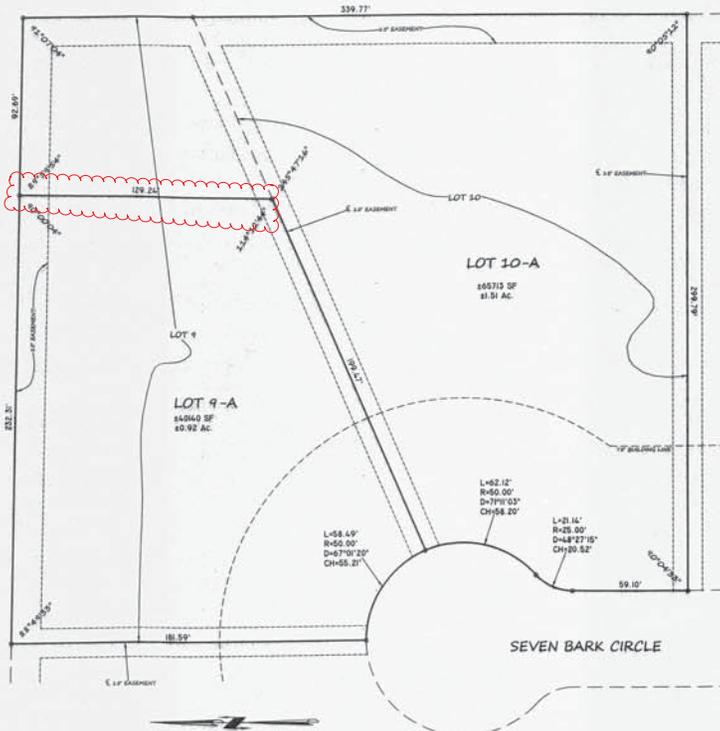
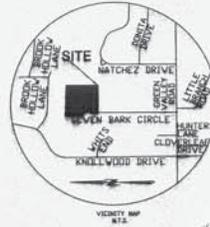
BEING A RESURVEY OF LOT 10 & 9
OF ANDREWS ADDITION TO KNOLLWOOD AS RECORDED
IN MAP BOOK 199, PAGE 22
IN THE OFFICE OF THE JUDGE OF PROBATE
JEFFERSON COUNTY, ALABAMA

SCALE: 1"=30'

DATE: MARCH 2020

SITUATED IN THE SE 1/4 SE 1/4 OF SECTION 16, TOWNSHIP 18 SOUTH, RANGE 2 WEST
JEFFERSON COUNTY, ALABAMA

WEYGAND SURVEYORS, INC.
Ray Weygand, Reg. L.S. #24973
169 Oxmoor Road, Homewood, AL 35209
Phone: (205) 942-0086 Fax: (205) 942-0087



**ZONING: RESIDENCE A
FRONT 40'
REAR 40'
SIDE 15'**

NOTE:

THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA (ZONE "X") AS PER MAP NO. 01073C0578H, DATED SEPTEMBER 3, 2010.



STATE OF ALABAMA
JEFFERSON COUNTY

The undersigned, Ray Weygand, Registered Land Surveyor, State of Alabama, and Tom McKinnon and Christopher Cooper, the Owners, hereby certify that this plat or map was made pursuant to a survey made by said surveyor, and that this plat or map was made at the instance of said owner, that this plat or map is a true and correct plat or map of land shown therein and known or to be known as RESURVEY OF LOT 10 & 9 OF ANDREWS ADDITION TO KNOLLWOOD, showing the subdivisions into which it is proposed to divide said lands, giving the length and bearings of the boundaries of each lot and its number, showing the streets, alleys and public grounds, showing the location of the lands to the map of ANDREWS ADDITION TO KNOLLWOOD (MB 199, PG 22) and to government survey of Section 16, Township 18 South, Range 2 West, and that iron pins have been installed at all lot corners and curve points as shown and designated by small open circles on said plat or map. I, Ray Weygand, hereby state that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information and belief. Said owner also certifies that it is the owner of said lands.

By: Ray Weygand
Ray Weygand
Reg. L.S. #24973

By: Tom McKinnon
Tom McKinnon - Owner
By: Christopher Cooper
Christopher Cooper - Owner

STATE OF ALABAMA
JEFFERSON COUNTY

Sianna Weygand, a Notary Public in and for said County and State hereby certify that Ray Weygand, whose name is signed to the foregoing certificate as Land Surveyor and who is known to me, acknowledged before me, on this day, that being informed of the contents of the certificate, he executed the same voluntarily on the day the same bears date.

Given under my hand and seal this 16th day of March, 2020.

By: Sianna Weygand
Notary Public - My commission expires: 3-20-22



STATE OF ALABAMA
JEFFERSON COUNTY

Sianna Weygand, a Notary Public in and for said County and State hereby certify that Tom McKinnon, whose name is signed to the foregoing certificate as Owner, and who is known to me, acknowledged before me, on this day that, being informed of the contents of the certificate, she executed same voluntarily on the day the same bears date.

Given under my hand and seal this 16th day of March, 2020.

By: Sianna Weygand
Notary Public - My commission expires: 3-20-22



STATE OF ALABAMA
JEFFERSON COUNTY

Sianna Weygand, a Notary Public in and for said County and State hereby certify that Christopher Cooper, whose name is signed to the foregoing certificate as Owner, and who is known to me, acknowledged before me, on this day that, being informed of the contents of the certificate, she executed same voluntarily on the day the same bears date.

Given under my hand and seal this 16th day of March, 2020.

By: Sianna Weygand
Notary Public - My commission expires: 3-20-22



APPROVED: _____ DATE: _____
Chairman, Mountain Brook Planning Commission

APPROVED: _____ DATE: _____
Secretary, Mountain Brook Planning Commission

NOTE: Environmental Services Department approval indicates that easements have been dedicated for future Jefferson County sanitary sewers however this does not mean sanitary sewers have been built or will be built in the future. Any change in the Right-of-Way or Easement boundaries after this date may void this approval.

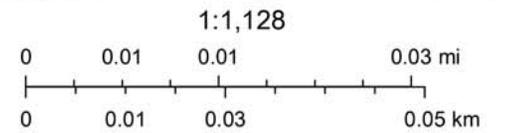
By: Ray Weygand Date: 3/11/2020
Director of Environmental

NOTE: ALL EASEMENTS ON THIS MAP ARE FOR PUBLIC UTILITIES, SANITARY SEWERS, STORM SEWERS, STORM DITCHES, PRIVATE TELEVISION CABLE SYSTEMS, AND MAY BE USED FOR SUCH PURPOSES TO SERVE PROPERTY BOTH WITHIN AND WITHOUT THIS SUBDIVISION (UNLESS OTHERWISE NOTED). NO PERMANENT STRUCTURE OR OTHER OBSTRUCTION SHALL BE LOCATED WITHIN THE LIMITS OF A DEDICATED EASEMENT.

P-20-26 Aerial



9/25/2020, 11:31:58 AM



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS,

ArcGIS Web AppBuilder
Hunter Simmons | Jefferson County Information Technology Services | Maxar, Microsoft |



Planning Commission Application PART I

Project Data

Address of Subject Property 200 Office Park Drive, Mountain Brook, AL 35223

Zoning Classification commercial

Name of Property Owner(s) GLO, LLC

Phone Number 205-868-4684 Email Ladd@laddmgt.com

Name of Representative Agent (if applicable)

Paul Freeman, Eagle Solar and Light, LLC

Phone Number 205-202-2208 Email pfreeman@eaglesolarandlight.com

Name of Engineer or Surveyor _____

Phone Number _____ Email _____

Property owner or representative agent must be present at hearing

Plans

See applicable Section of the Zoning Ordinance for submittal requirements pertaining to your particular application. Applicable Code Section may be found in Part II, list of application types. Contact City Planner with any specific questions as to required plans submittal.

Sept 10, 2020

City of Mountain Brook
Mountain Brook Planning Commission
56 Church Street
Mountain Brook, AL 35213

Request Review of Solar Energy Systems Municipal Code 129-292
Mountain Brook Planning Commission Meeting - October 5, 2020

Enclosed is a request for the City of Mountain Brook Planning Commission to review and approve the installation of Solar Panels as part of a Solar Energy System at the following addresses:

Physical Address : **200 Office Park Drive, Mountain Brook, AL 35223**
Owner: **GLO, LLC**
Property Mailing address: 6 Office Park Circle STE 111, Birmingham, AL 35223

Scope of Project

Three Hundred and thirty-six (336) Solar panels will be installed on the flat roof of the existing commercial building at 200 Office Park Drive to generate energy to be consumed on site. Maximum AC output is 100 kW.

The solar panels and racking will be installed at a 5% tilt on the flat roof and will not extend more than 12 inches from the surface of the roof. A parapet surrounding the edge of roof is higher than the solar and shields roof from public view.

A 4' setback will be mandated from each roof edge.

No part of the roof-mounted Solar Energy System will extend beyond the edge of the roof.

The panels and system are designed to blend into the architecture of the building.

No portion of the solar energy system will be visible from any public street. Photos attached as viewed from Office Park Drive.

Any external electrical lines and conduit will be painted or blended to match the color of the adjacent roofing and walls.

The roof-mounted Solar Energy System will not increase the height of the building.

Attached:

Certified copy of Jefferson Co Tax Assessor record of adjoining property owners.

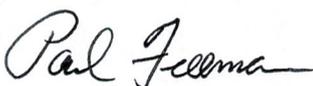
Solar panel specification sheet.

Jefferson Co tax map of property and adjoining parcels

Aerial map/ satellite image of property

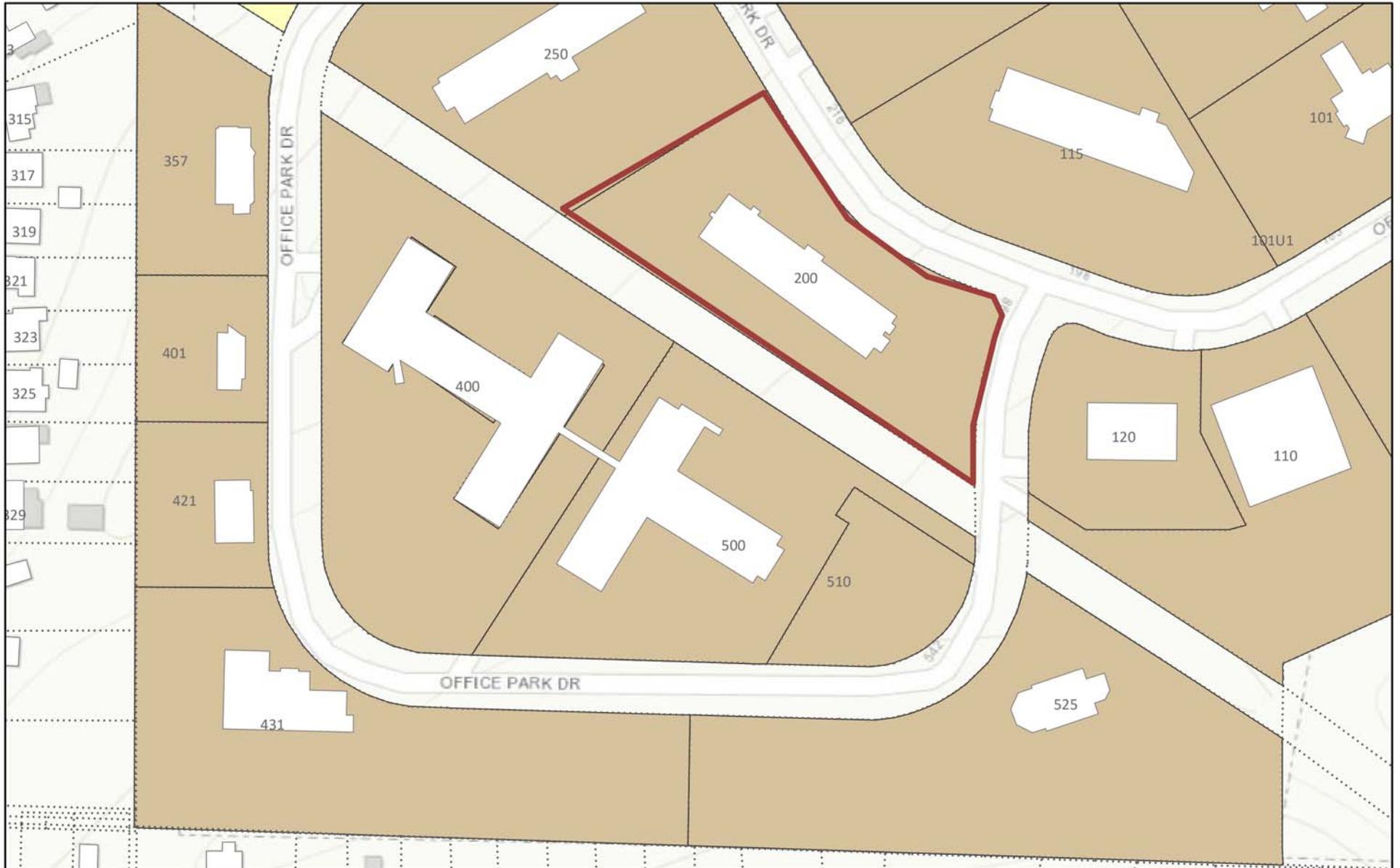
Aerial view of solar array design on roof top.

Photographs of existing building from Office Park Drive.

 September 10, 2020

Paul Freeman, Eagle Solar and Light
(205) 202-2208, pfreeman@eaglesolarandlight.com

P-20-27 Zoning

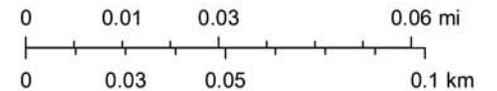


9/29/2020, 11:22:30 AM

..... LotLines Residence A District

Tax_Parcels
Office Park District

1:2,257



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS,

P-20-27

Petition Summary

Request for approval of the installation of a solar array.

Background

Section 129-292 (Use Exemptions) of the Zoning Code specifies that the installation of equipment and minor structures and improvements that are incidental to the provision of and distribution of gas, electricity, water and telecommunications may be permitted in any zoning district, subject to Planning Commission approval. In conjunction with any such approval, the Planning Commission may impose conditions which promote the purposes of the zoning ordinance.

On April 4, 2016, the Planning Commission approved “Guidelines for Planning Commission Review of Solar Energy Systems.” These guidelines are not regulatory but intended for use by the Planning Commission in the review process for alternative solar energy systems. The applicant in the subject case has included these guidelines in his application and has indicated compliance with each item within said document (see applicant’s responses in red).

Analysis

The subject solar panel array is a rooftop array atop an office building in Office Park. The proposed equipment is in keeping with the guidelines established by the Planning Commission. See attached specifications for the proposed system.

Appends

LOCATION: 200 Office Park Drive

ZONING DISTRICT: Office Park District

OWNER: GLO, LLC

AGENT: Paul Freeman, Eagle Solar & Light, LLC



200 Office Park Dr





REC TWINPEAK 25 MONO 72 SERIES

PREMIUM SOLAR PANELS 100% MADE IN SINGAPORE

REC TwinPeak 25 Mono 72 Series solar panels feature an innovative design with high efficiency and an industry-leading lightweight, yet robust construction, enabling customers to get the most out of the installation area.

Combined with the product quality and reliability of a strong and established European brand, REC TwinPeak 25 Mono 72 Series panels are ideal for all types of commercial rooftop and utility installations worldwide.



**REDUCES BALANCE OF
SYSTEM COSTS**



**IMPROVED PERFORMANCE
IN SHADED CONDITIONS**

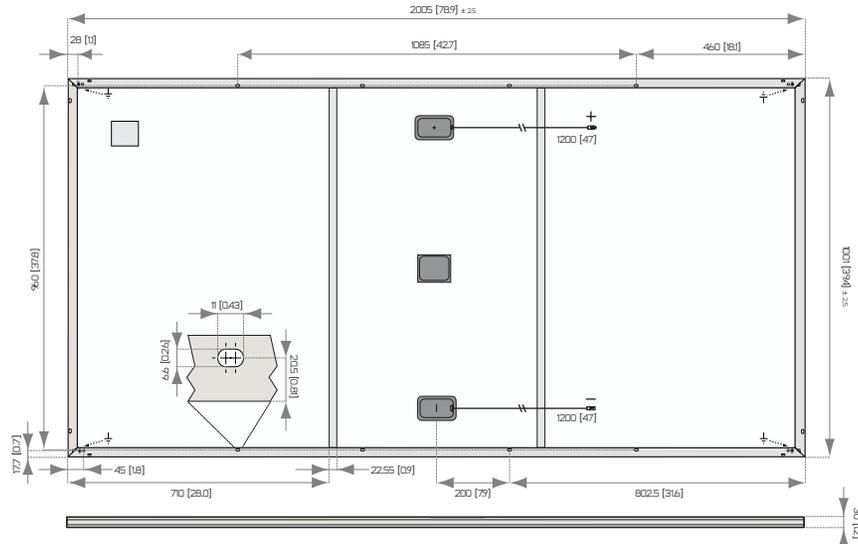


**INDUSTRY-LEADING
LIGHTWEIGHT 72-CELL PANEL**



**100%
PID FREE**

REC TWINPEAK 25 MONO 72 SERIES



All measurements in mm [in]

ELECTRICAL DATA @ STC		Product code*: RECxxxTP2SM 72						
Nominal Power - P_{MPP} (Wp)		370	375	380	385	390	395	400
Watt Class Sorting - (W)		0/+5	0/+5	0/+5	0/+5	0/+5	0/+5	0/+5
Nominal Power Voltage - V_{MPP} (V)		39.8	40.1	40.3	40.5	40.7	40.9	41.1
Nominal Power Current - I_{MPP} (A)		9.30	9.36	9.43	9.51	9.58	9.66	9.73
Open Circuit Voltage - V_{OC} (V)		47.0	47.4	48.0	48.6	49.2	49.8	50.4
Short Circuit Current - I_{SC} (A)		10.02	10.04	10.05	10.07	10.08	10.09	10.1
Panel Efficiency (%)		18.4	18.7	18.9	19.2	19.4	19.7	20.0

Values at standard test conditions (STC: air mass AM1.5, irradiance 1000 W/m², temperature 25°C), based on a production spread with a tolerance of V_{OC} & I_{SC} $\pm 3\%$ within one watt class. At low irradiance of 200 W/m² at least 95% of the STC module efficiency will be achieved. *Where xxx indicates the nominal power class (P_{MPP}) at STC indicated above, and can be followed by the suffix XV for 1500 V rated modules.

ELECTRICAL DATA @ NMOT		Product code*: RECxxxTP2SM 72						
Nominal Power - P_{MPP} (Wp)		276	280	283	287	290	295	298
Nominal Power Voltage - V_{MPP} (V)		37.1	37.3	37.5	37.7	37.9	38.1	38.3
Nominal Power Current - I_{MPP} (A)		7.44	7.49	7.54	7.60	7.66	7.73	7.78
Open Circuit Voltage - V_{OC} (V)		43.7	44.1	44.7	45.3	45.8	46.4	46.9
Short Circuit Current - I_{SC} (A)		8.02	8.03	8.04	8.06	8.06	8.07	8.08

Nominal module operating temperature (NMOT: air mass AM1.5, irradiance 800 W/m², temperature 20°C, windspeed 1 m/s). *Where xxx indicates the nominal power class (P_{MPP}) at STC indicated above, and can be followed by the suffix XV for 1500 V rated modules.

CERTIFICATION



UL 1703, Fire classification: Type 1 (1500 V XV); Type 2 (1000 V); IEC 61215, IEC 61730, IEC 62804 (PID), IEC 62716 (Ammonia), IEC 61701 (Salt Mist level 6), ISO 9001: 2015, ISO 14001: 2004, OHSAS 18001: 2007

WARRANTY

20 year product warranty
25 year linear power output warranty
Max. performance degradation of 0.5% p.a. from 97.5% in year 1
See warranty conditions for further details.

20,0% EFFICIENCY
20 YEAR PRODUCT WARRANTY
25 YEAR LINEAR POWER OUTPUT WARRANTY

GENERAL DATA

Cell type: 144 half-cut monocrystalline PERC cells
6 strings of 24 cells in series
Glass: 3.2 mm solar glass with anti-reflection surface treatment
Backsheet: Highly resistant polymeric construction
Frame: Anodized aluminum
Support bars: Anodized aluminum
Junction box: 3-part, 3 bypass diodes, IP67 rated in accordance with IEC 62790
Cable: 4 mm² solar cable, 1.2 m + 1.2 m in accordance with EN 50618
Connectors: Stäubli MC4-Evo2 PV-KBT4-EVO/PV-KST4-EVO (4 mm²) in accordance with IEC 62852, IP68 only when connected
Origin: Made in Singapore

MAXIMUM RATINGS

Operational temperature: -40...+85°C
Maximum system voltage: 1000V/1500V
Design load (+): snow 367 kg/m² (3600 Pa)*
Maximum test load (+): 550 kg/m² (5400 Pa)
Design load (-): wind 163 kg/m² (1600 Pa)*
Maximum test load (-): 244 kg/m² (2400 Pa)
Max series fuse rating: 25 A
Max reverse current: 25 A

+ Calculated using a safety factor of 1.5
* See installation manual for mounting instructions

TEMPERATURE RATINGS

Nominal Module Operating Temperature: 44.6°C ($\pm 2^\circ\text{C}$)
Temperature coefficient of P_{MPP} : -0.37 %/°C
Temperature coefficient of V_{OC} : -0.28 %/°C
Temperature coefficient of I_{SC} : 0.04 %/°C
*The temperature coefficients stated are linear values

MECHANICAL DATA

Dimensions: 78.9" x 39.4" x 1.2" (2005 x 1001 x 30 mm)
Area: 21.6 ft² (2.01 m²)
Weight: 48.5 lbs (22 kg)



www.recgroup.com

Specifications subject to change without notice. Ref: PM-D5-07-23 Rev-B_08.19



P-20-27



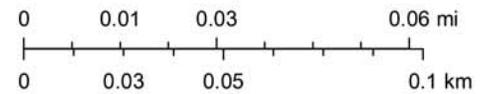
P-20-27 Aerial



9/29/2020, 11:24:25 AM

..... LotLines

1:2,257



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS,

ArcGIS Web AppBuilder

Hunter Simmons | Jefferson County Information Technology Services | Maxar, Microsoft |

City of Mountain Brook

Guidelines for Planning Commission Review of Solar Energy Systems

Whereas Section 129-292 of the Municipal Code allows the installation in or upon a parcel located within any zoning district, such equipment and minor structures and improvements incidental to the provision and distribution of gas, electricity, water and similar services as may be approved by the planning commission; which approval shall be subject to such conditions, if any, which the planning commission may require to promote the purposes of Chapter 129 of the Municipal Code; and

Whereas the planning commission has determined that it is desirable for the City to permit and regulate the use of solar energy in the City of Mountain Brook; and

Whereas the planning commission has determined that the use and regulation of solar energy systems in the City will reduce the need for additional electrical generation and distribution and tend to reduce atmospheric pollution that are considered harmful to the environment; and

Whereas the planning commission recognizes that the purpose of regulating solar energy systems is to provide for appropriate locations for solar energy systems, to ensure compatibility with surrounding uses, and to promote safe and effective use of solar energy to increase opportunities for generation of renewable energy.

Therefore the following are guidelines to be used by the Planning Commission when approval of an application for a solar energy system has been requested:

Definitions:

Solar Energy System (SES). An energy system which converts solar energy to usable thermal, mechanical, chemical or electrical energy to meet all or a portion of the energy requirements of a principal building or an associated accessory structure.

Solar Energy Equipment (SEE). Items including but not limited to solar panels, lines, pumps, batteries, mounting brackets, framing and/or foundation used for or intended to be used for the collection of solar energy in connection with a building on residential, municipal or commercial properties. Solar energy equipment and its use are accessory to the principal use of the property.

Solar Energy Systems, generally.

- 1) SES shall not be commercial operations and are prohibited as a principal use. The main purpose of the SES may not be to generate energy for sale back to the energy grid rather than being consumed on site.
- 2) Abandoned or inactive SES, within twelve (12) months of the cessation of operations, shall be removed by the property owner.

Roof Mounted Solar Energy Systems

- 1) The placement of SES on roofs of principal buildings is preferred and encouraged.
- 2) For pitched, hipped or gambrel roofs, roof mounted SES shall not be more than twelve (12) inches from the surface of the roof at any point, and may not extend above the ridgeline of the roof. The twelve (12) is measured from the upper side of the solar panel.
- 3) For flat roofs or the horizontal portion of mansard roofs, roof mounted SES may extend up to five (5) feet above the highest point of the roof.
- 4) In no instance shall any part of a roof mounted SES extend beyond the edge of the roof.
- 5) Roof mounted SES shall be designed to blend into the architecture of the building.
- 6) No portion of the SES shall be visible from any public street.
- 7) All exterior plumbing and electrical lines must be painted and/or coated to match the color of adjacent roofing material and walls.
- 8) Roof Mounted SES shall be located so as not to increase the total height of the structure above the maximum allowable height of the structure on which it is located, in accordance with the applicable zoning regulations, and may not exceed the height of the ridge of the roof on which it is located.

Ground Mounted Solar Energy Systems

- 1) Ground mounted SES and SEE shall be considered accessory structures and shall be governed in accordance with Section 129-314 of the Municipal Code of the City of Mountain Brook.
- 2) Ground mounted SES shall be of permanent installation and shall not be portable in nature.
- 3) To the extent possible, without compromising the solar SES's access to sunlight, ground mounted SES shall be screened from view at-grade from all adjacent properties.
- 4) No portion of the SES shall be visible from any public street.



**Planning Commission Application
PART I**

Project Data

Address of Subject Property 3601 East Street

Zoning Classification Residence A

Name of Property Owner(s) City of Mountain Brook

Phone Number 205-802-3838 Email kennedyd@mtnbrook.org

Name of Representative Agent (if applicable)

David Kennedy

Phone Number 205-802-3838 Email kennedyd@mtnbrook.org

Name of Engineer or Surveyor N/A

Phone Number _____ Email _____

Property owner or representative agent must be present at hearing

Plans

See applicable Section of the Zoning Ordinance for submittal requirements pertaining to your particular application. Applicable Code Section may be found in Part II, list of application types. Contact City Planner with any specific questions as to required plans submittal.



CITY OF MOUNTAIN BROOK FIRE DEPARTMENT

102 Tibbett Street, Mountain Brook, Alabama - 35213 Phone: (205) 802-3838



To: Mountain Brook Planning Commission
From: David Kennedy, Battalion Chief-Safety and Training
Date: September 18, 2020
Subject: Live Fire Training Building

Dear Commission Members:

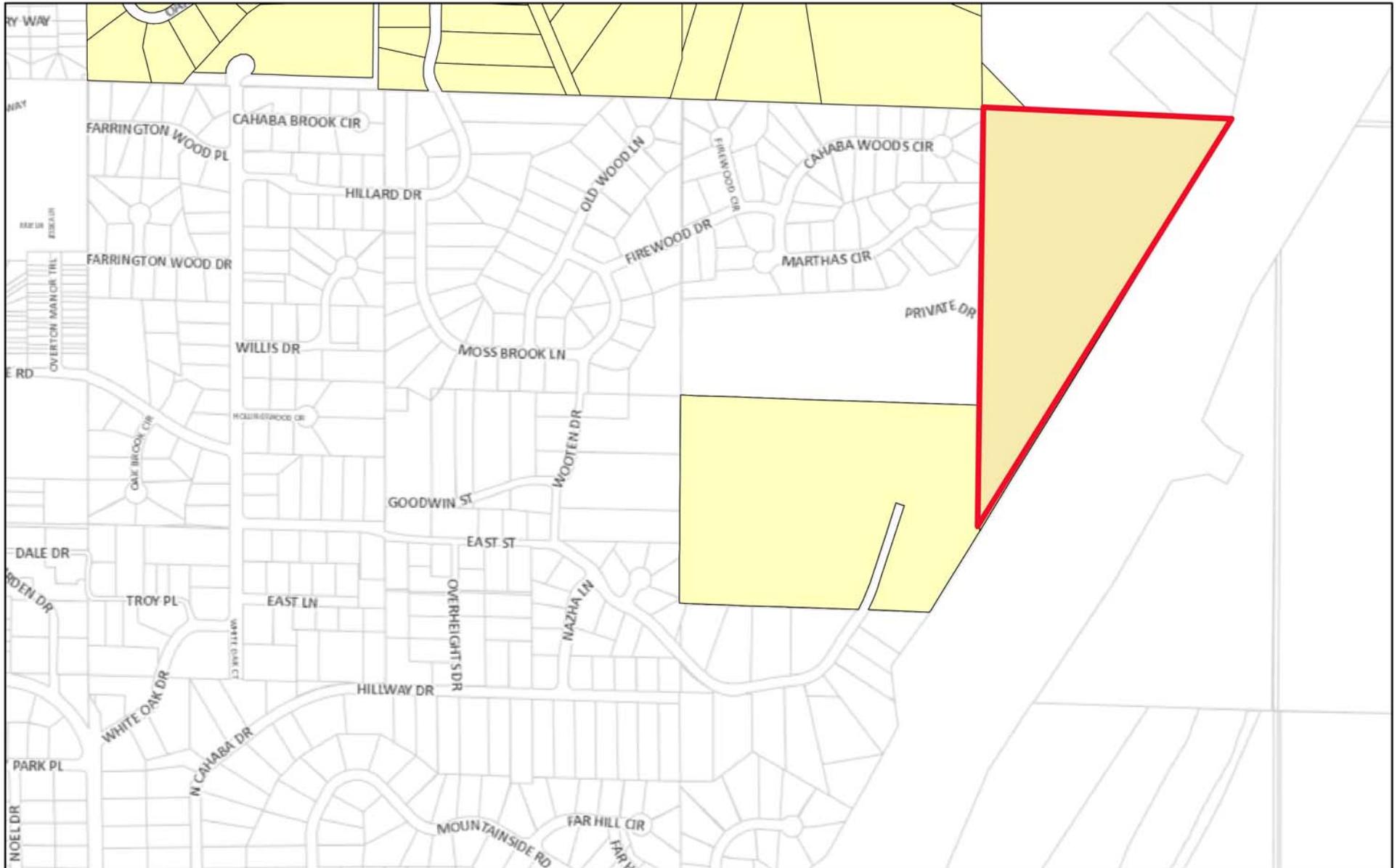
The Mountain Brook Fire Department is excited to present for your consideration – and hopefully affirmation - a drill field project that we have planned and discussed for a few years and now are wanting to make happen. I have attached an aerial view of the location as well as a design layout and sample picture that closely resembles what the final burn building will look like. We already have the concrete pad in place and are ready for the next phase. The next phase will consist of the installation of three full size Conex boxes and one half size Conex box which will be the first floor as well as two other full size Conex boxes which would be the second floor. Upon completion the next step would be the installation of the outside and inside stairways as well as guard rails. The boxes will be bolted to the concrete pad and then welded together. This project is used by Fire Departments across the country for "Live Fire" firefighter training (which is required by ISO and other Fire Department regulatory agencies). The Conex box is a "Railroad Car" and the steel that it is made of is ideal for Live Fire training as it builds up heat and holds heat quickly without any deterioration to the structure itself.

In closing I want to say that we look forward to a training building of this nature and that we are looking forward to presenting our project to you at the Planning Commission meeting.

Respectfully Submitted;

David Kennedy, Battalion Chief-Safety and Training

P-20-28 Zoning

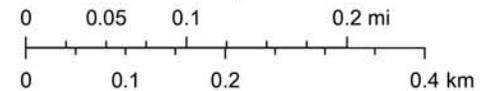


9/25/2020, 1:09:39 PM

Tax_Parcels

 Residence A District

1:9,028



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan,

ArcGIS Web AppBuilder

Hunter Simmons | Jefferson County Information Technology Services | JeffCoAL, Esri, HERE, Garmin, INCREMENT P, Intermap, NGA, USGS |

P-20-28

Petition Summary

Request for approval of an amended master development plan for the Mountain Brook Fire Department Training Facility.

Analysis

The subject property contains the Police Department practice shooting range, the Fire Department training tower, and a joint classroom training facility. The proposed facility will consist of metal shipping containers, assembled for use by the Fire Department to train with live fires (contained inside the facility).

This type of training is required for ISO ratings. At present there are only a few such facilities in the state of Alabama, so the city's firefighters have to travel to other facilities for this type of training. Apparently, there are not enough available facilities to support the need for this specific type of training throughout the state.

The proposed base is to be 30' x 40', and the proposed height is 24 feet. The burn building is to be located on the east side of the property, next to Interstate 459. As such, no detrimental effects to adjoining residential properties is anticipated in conjunction with the approval of this facility.

Background

On November 2, 2015, the planning commission approved Case P-15-05, an amended development plan for the subject site to allow the construction of the city's Police/Fire classroom training facility.

Subject Property and Surrounding Land Uses

The subject property contains the Public Works Facility, the Police shooting range, the Police/Fire training classroom facility, and the Fire training tower; with residential properties to the north and west, and Interstate 459 to the east.

Affected Regulation

Article III, Residence A District; Section 129-31, Permitted Uses; and 129-32 Conditions on Certain Permitted Uses.

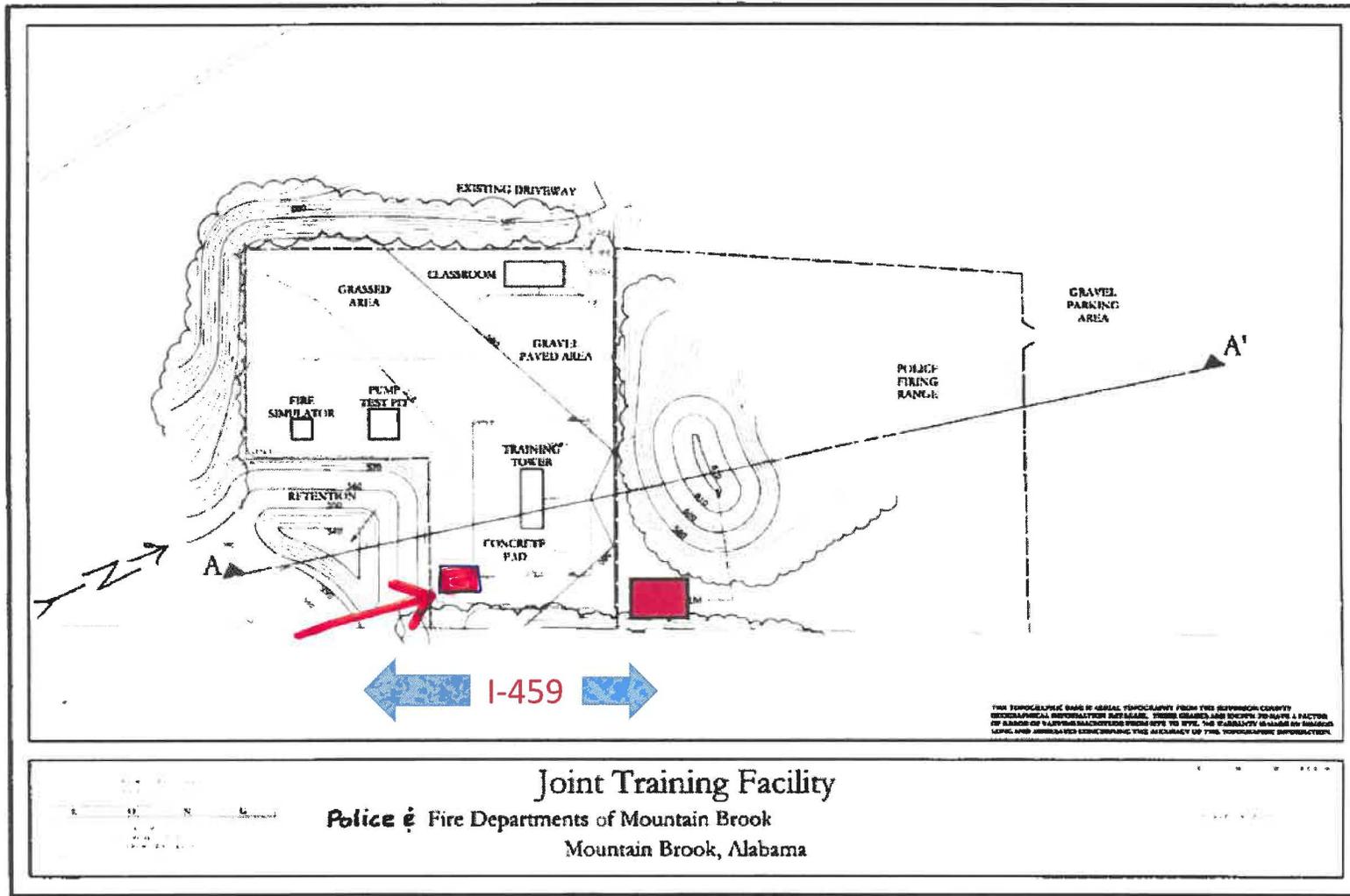
Appends

LOCATION: 3601 East Street

ZONING DISTRICT: Res-A

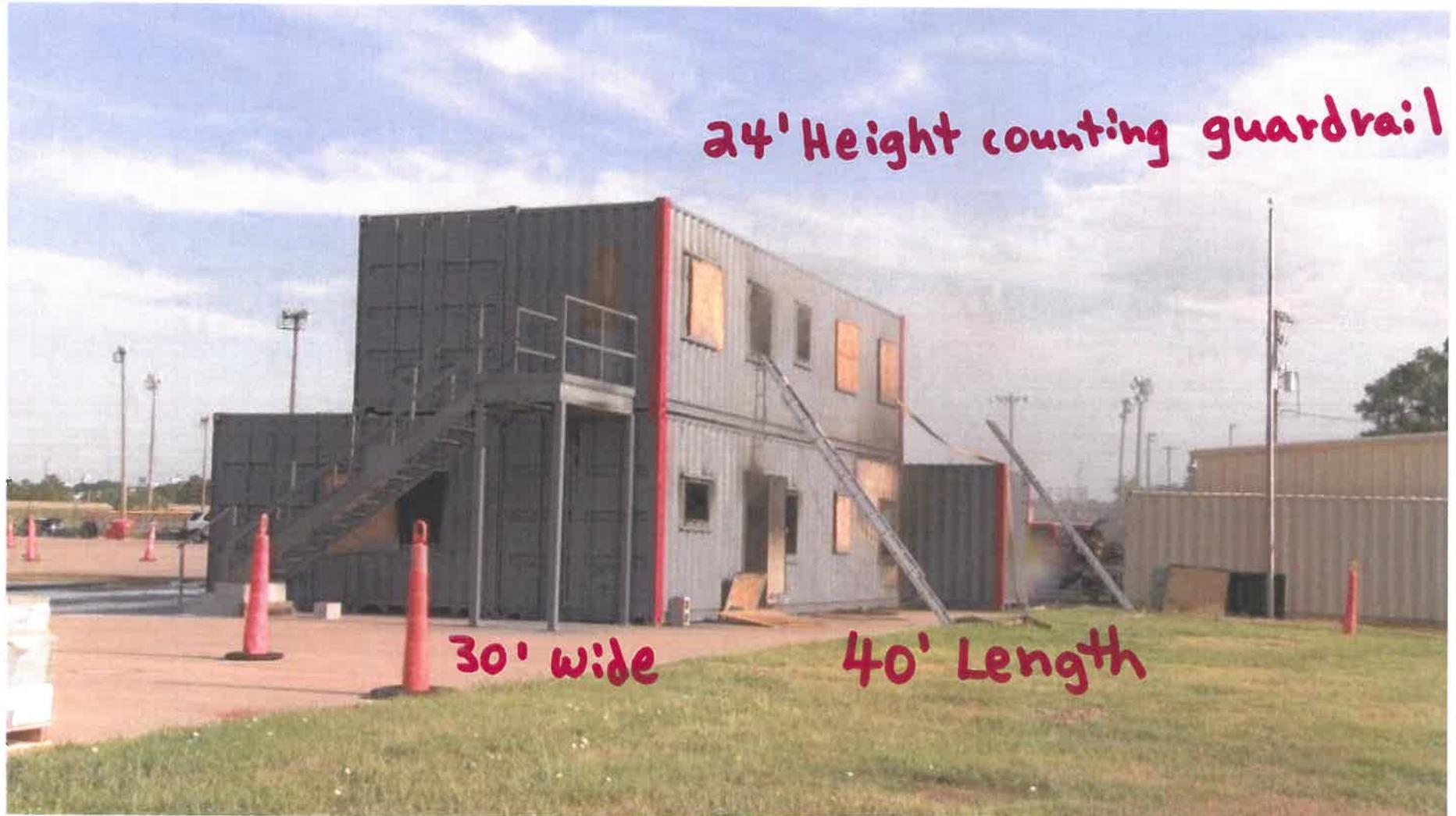
OWNER: City of Mountain Brook

P-20-28
P-15-05

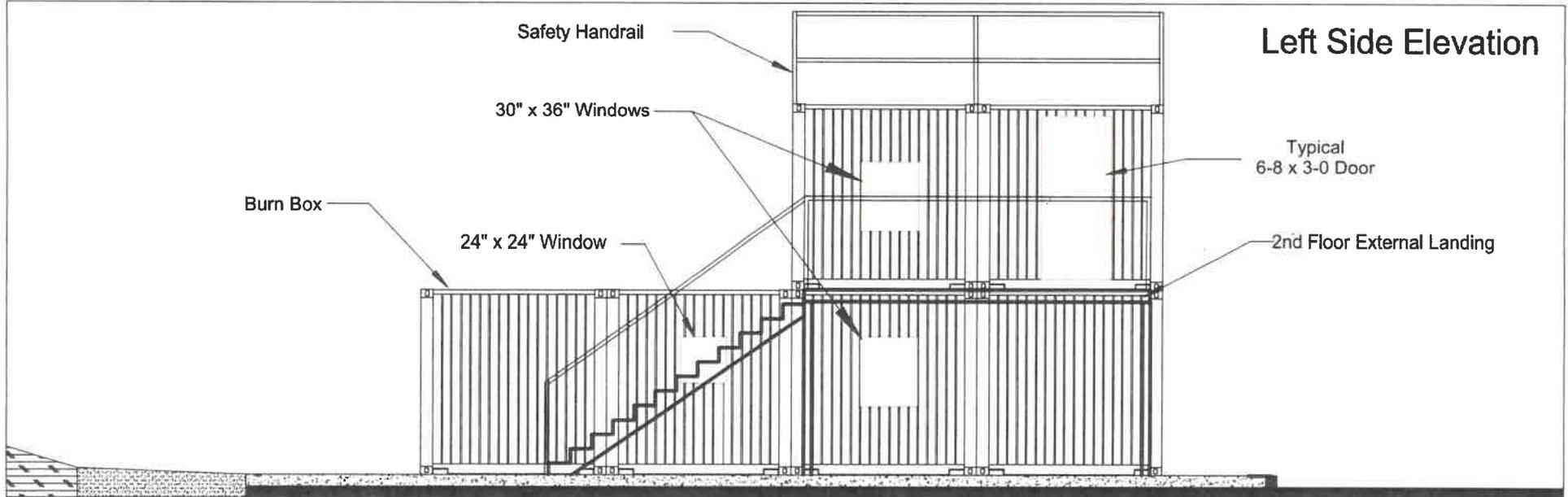


Joint Training Facility
Police & Fire Departments of Mountain Brook
Mountain Brook, Alabama

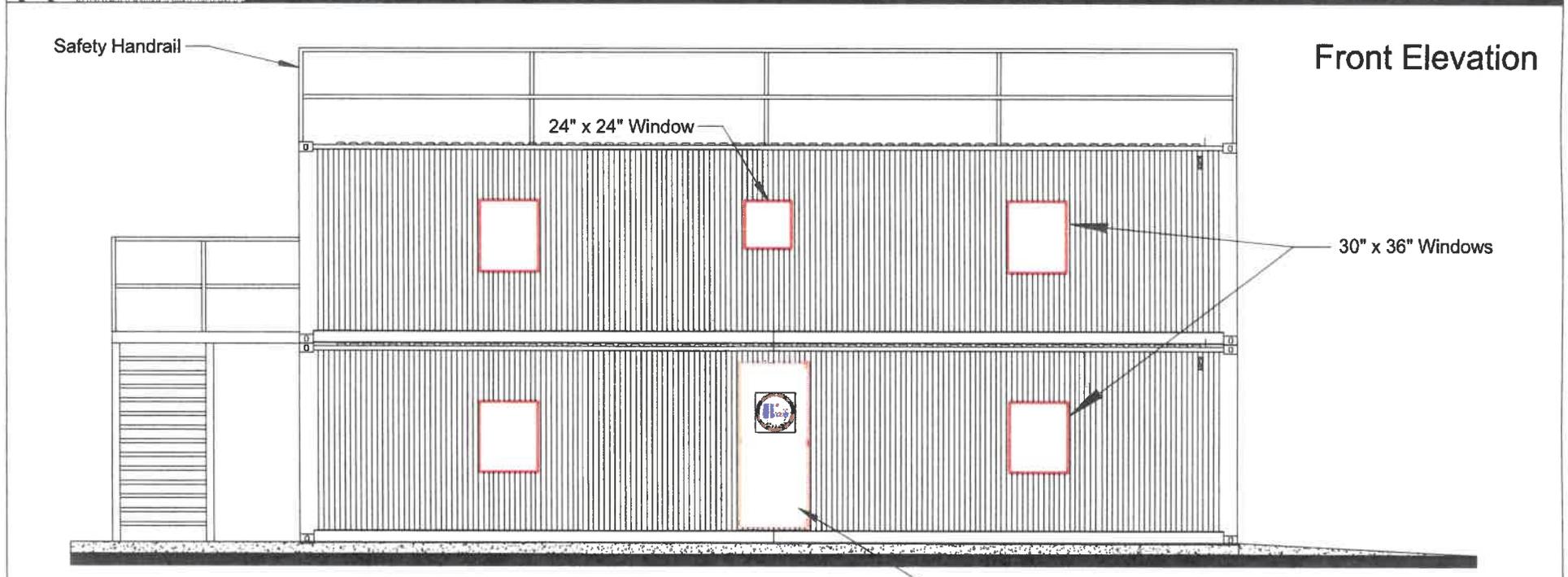
Proposed Live Fire Training Bldg.



Left Side Elevation

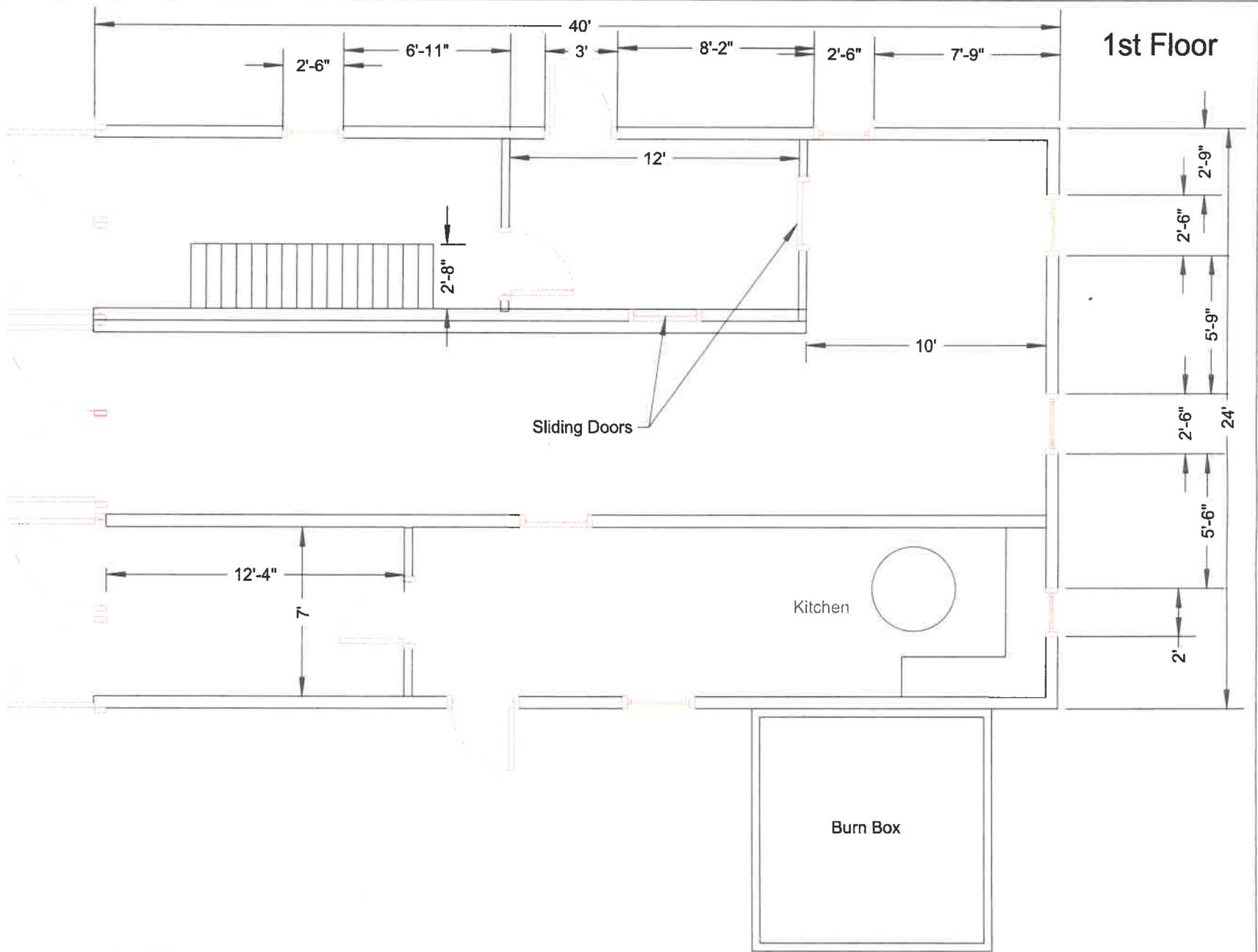


Front Elevation



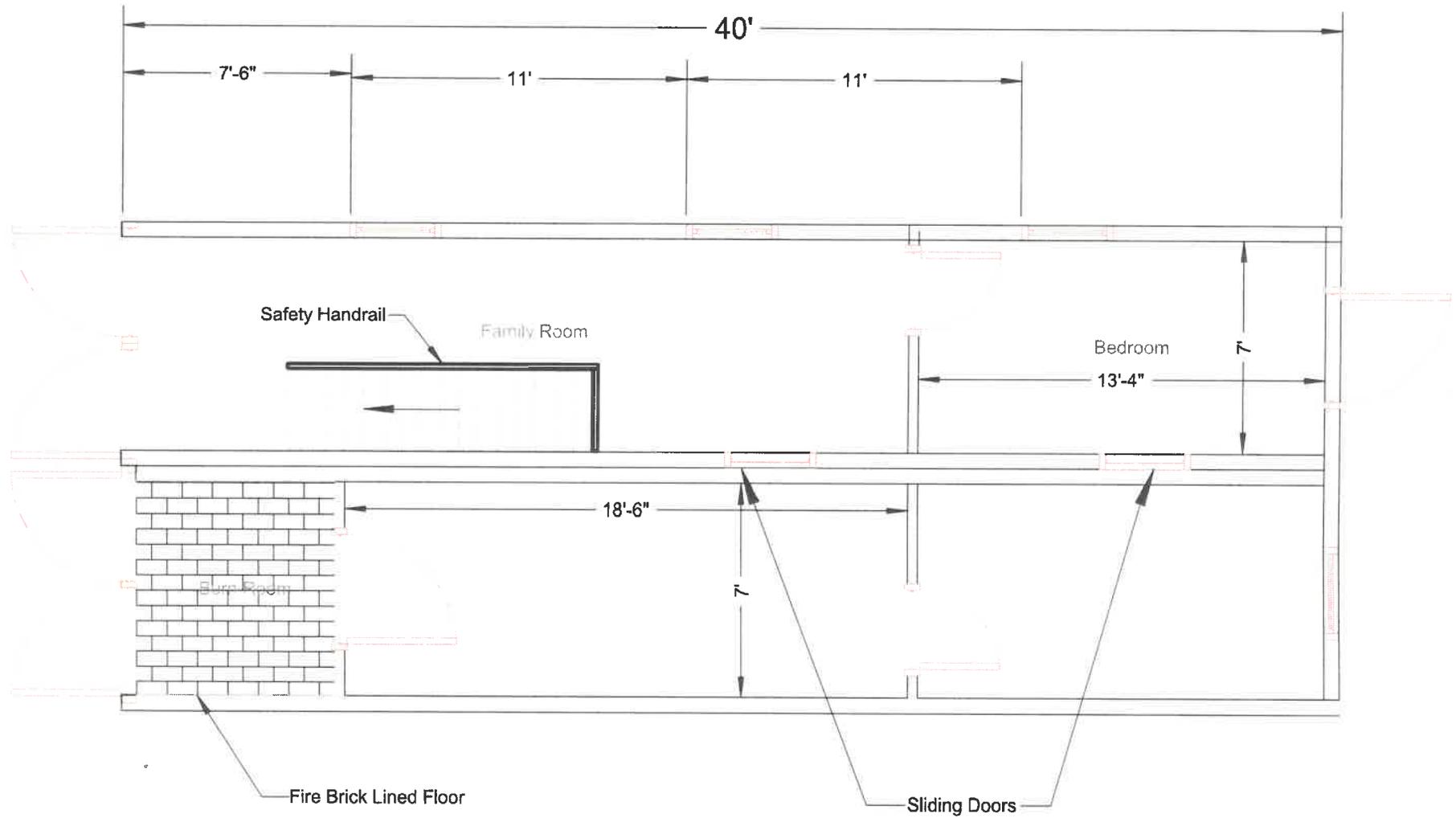
Live Fire Training Building
Mountain Brook Fire Department
Drill Field located at 3601 East Street

Typical
6-8 x 3-0 Door



Live Fire Training Building
Mountain Brook Fire Department
Drill Field located at 3601 East Street

2nd Floor

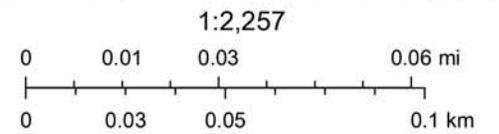


Live Fire Training Building
Mountain Brook Fire Department
Drill Field located at 3601 East Street

P-20-28 Aerial



9/25/2020, 1:06:41 PM



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS,

ArcGIS Web AppBuilder
Hunter Simmons | Jefferson County Information Technology Services | Maxar, Microsoft |



Planning Commission Application PART I

Project Data

Address of Subject Property 120 cherry street

Zoning Classification Residence C

Name of Property Owner(s) Teresa Howell

Phone Number (205) 422-6054 Email howellt@mtnbrook.K12.AL.US

Name of Representative Agent (if applicable)

LAUREN BARRETT, ARCHITECT

Phone Number (205) 531-0118 Email laurenc@barrettarchstudio.com

Name of Engineer or Surveyor E. CHRIS ECKROATE, P.E.

Phone Number (205) 907-3895 Email chris.eckroate@caprineeng.com

Property owner or representative agent must be present at hearing

Plans

See applicable Section of the Zoning Ordinance for submittal requirements pertaining to your particular application. Applicable Code Section may be found in Part II, list of application types. Contact City Planner with any specific questions as to required plans submittal.

Narrative for Request to approve Private Drive in Un-opened Alley

120 Cherry Street
September 18, 2020

Teresa Howell, who is the property owner at 120 Cherry Street (Lot 10), would like to gain access to the rear of her property by constructing, at her cost, a driveway extending from behind her lot and the adjacent property on Lot 11 to connect to the existing alley that connects between Cherry Street and Main Street. The driveway will be approximately 100' in length.

The proposed driveway, which would be approximately 12' wide, will be located in the 15' wide un-opened alley. The driveway will give Ms. Howell vehicular access to the rear of her home, which currently only has a limited parking pad accessed from Cherry Street. This work would be completed before the current home is removed and a new home constructed on the lot.

The proposed surface design of the driveway, will be designed by Chris Eckroate, P.E. of Caprine Engineering, LLC will be submitted to the City Engineer for approval. The design of the driveway will take into consideration mitigating any stormwater runoff that occurs when the driveway is installed in the alley, which is currently overgrown with weed and tree cover.

Sincerely,
Teresa Howell
Owner

P-20-29

Petition Summary

Request to install a private driveway in a portion of an unpaved public alley (right-of-way).

Background

The city of Mountain Brook's right-of-way network contains many unimproved (unpaved) alleys; particularly on the north side of Euclid Avenue in Crestline. A close field check of these unopened alleys reveals the existence of many paved improvements in these rights-of way, installed by adjoining homeowners over the years.

Many of the older private improvements have been installed without permission from the city; some likely predate the incorporation of these properties into the city of Mountain Brook. Other, newer installations have been granted permission from the city. (For examples of such improvements see attached maps depicting other, similar private improvements in public rights-of-way in the vicinity).

Approval Process

Over the past few years, the city has formulated a process whereby property owners may petition the city council for permission to improve portions of public alleys for private use. The mechanism utilized for this process has been an "encroachment permit," whereby the city grants permission for use of the right-of-way by a private party. Permission to improve has been granted on the condition that the property owner enters into a hold harmless agreement with the city. Said agreement ensures that the property owner has no actual ownership rights to the public alley, and that should the city wish to use the right-of-way in the future, it has the right to do so (regardless of any related damage to or loss of private improvements the city may have previously granted) .

This method appears to have worked well with regard to ownership and use of the public alley, but there have been some unanticipated drainage/run-off issues related to the paving of these alleys, particularly when such improvements have been installed on the high side of Euclid Avenue in Crestline.

Planning Commission Role

The city council has suggested that the planning commission play an advisory role in the review process for encroachment permits; taking a look at the design and materials proposed in such improvements, and then making a recommendation to the city council in each case.

Analysis for Subject Application

In conjunction with the construction of a new single family dwelling at 120 Cherry Street, the applicant proposes an access drive within the adjoining unimproved alley to the rear of the lot. The alley right-of-way is 15 feet wide, and the proposed paved driveway is 11 feet wide and 100 feet long (it spans the back property line of the subject

property and three other properties along the rear alley). See attached survey and paving plan for improvement design.

Subject Property and Surrounding Land Uses

The subject property is a single family site, and is surrounded by same.

Appends

LOCATION: 120 Cherry Street

ZONING DISTRICT: Res-C

OWNER: Teresa Howell



Mountain Alley

View from the paved east-west alley; facing north toward the subject area (to the left of detached garage).

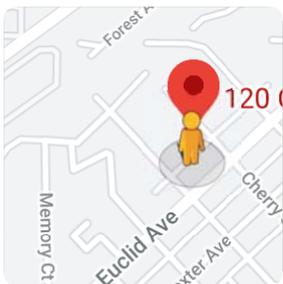


Image capture: Jun 2015 © 2020 Google

Mountain Brook, Alabama



Street View





Mountain Alley

View of rear of homes that face Euclid Avenue (across paved east-west alley from subject improvements).

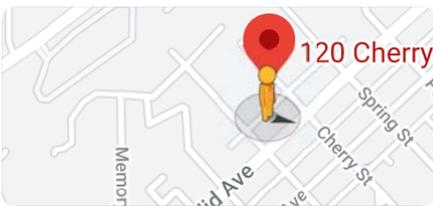


Image capture: Jun 2015 © 2020 Google

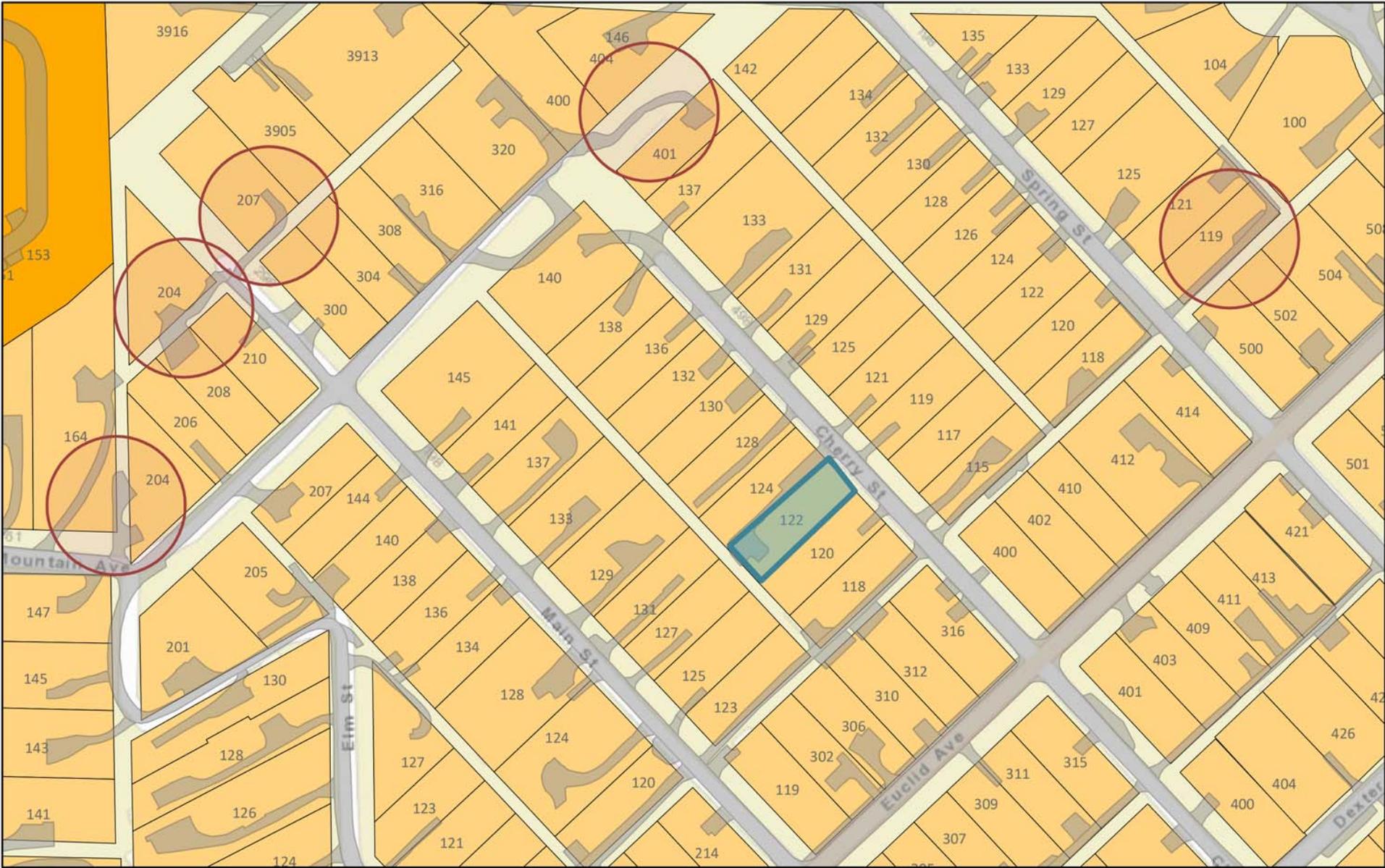
Mountain Brook, Alabama



Street View



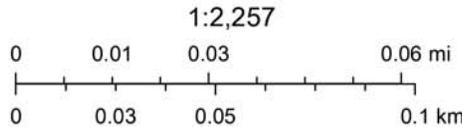
P-20-29 Private Improvements in Vicinity



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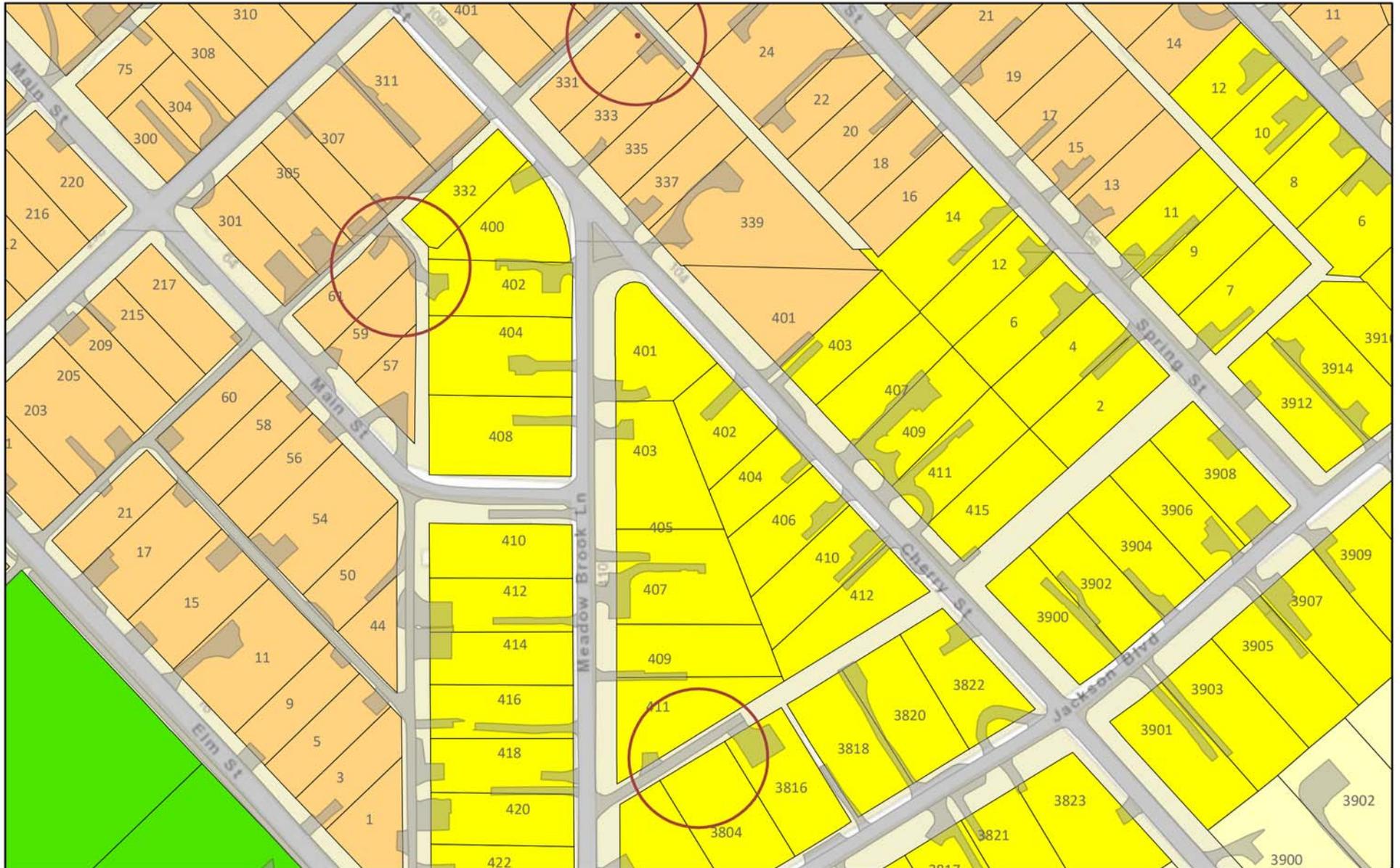
Pavement Residence D District

Tax_Parcels
 Residence C District



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan,

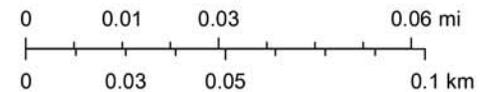
P-20-29 Private Improvements in Vicinity -2



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- Pavement Tax_Parcels
- Residence C District
- Residence A District
- Recreation District
- Residence B District

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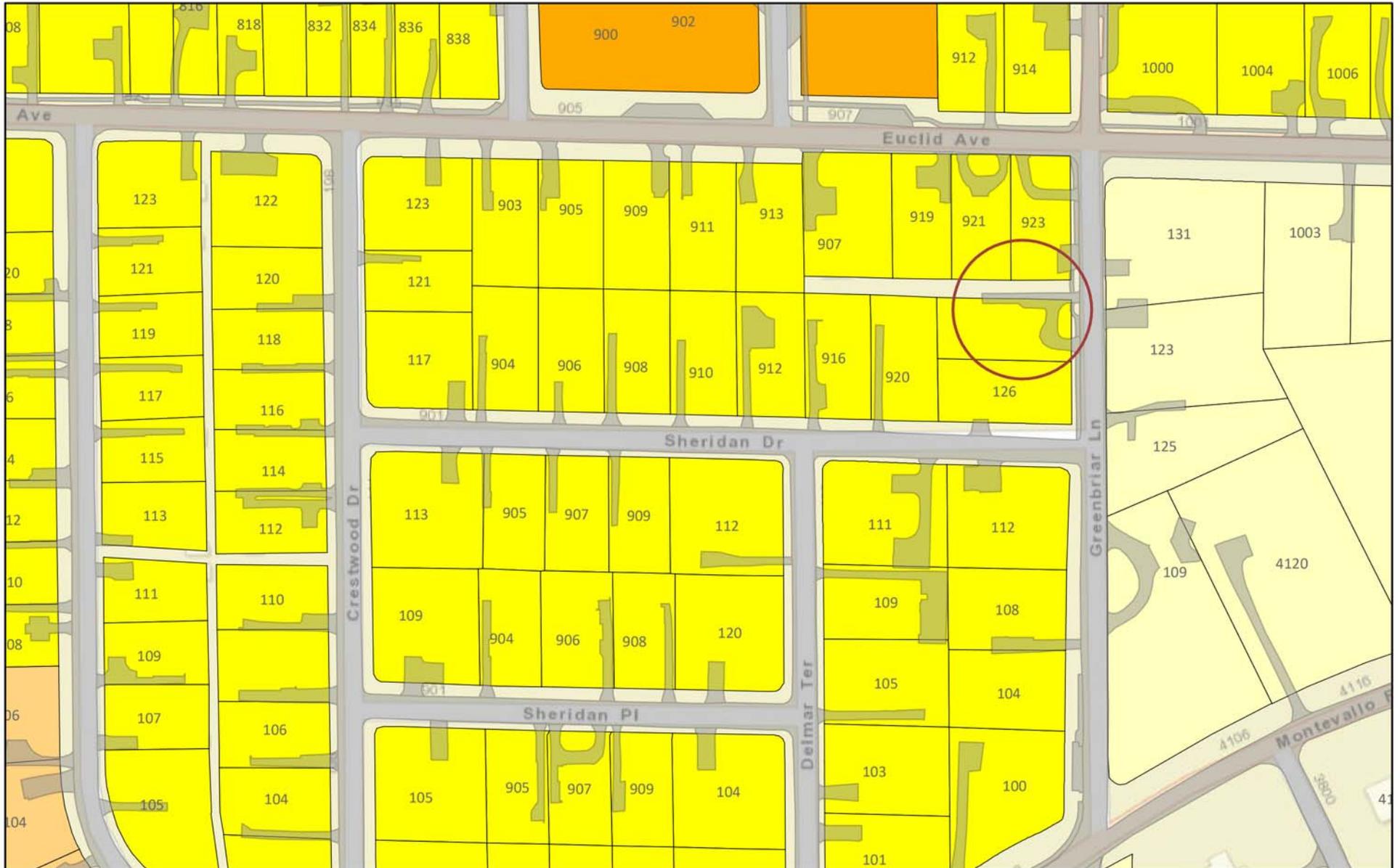


Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan,

ArcGIS Web AppBuilder

Hunter Simmons | Jefferson County Information Technology Services | JeffCoAL, Esri, HERE, Garmin, INCREMENT P, NGA, USGS |

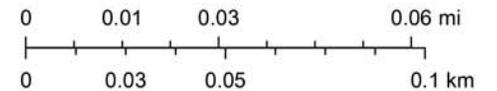
P-20-29 Private Improvements in Vicinity -3



9/29/2020, 2:59:55 PM

- Pavement
- Tax_Parcels
- Residence A District
- Residence B District
- Residence C District
- Residence D District

1:2,257



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan,

ArcGIS Web AppBuilder

Hunter Simmons | Jefferson County Information Technology Services | JeffCoAL, Esri, HERE, Garmin, INCREMENT P, NGA, USGS |

