

SUBMITTAL DATE: AUGUST 1, 2013  
AMENDED DATE: SEPTEMBER 23, 2019



*Lane Parke*

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MOUNTAIN BROOK, ALABAMA

MINDFUL OF THE PAST, LOOKING TO THE FUTURE

EVSON, INC.

DANIEL CORPORATION

GOODWYN, MILLS AND CAWOOD, INC.

HISTORICAL CONCEPTS



# *Lane Park*

MOUNTAIN BROOK, ALABAMA

## TABLE OF CONTENTS

1.	PUD Rezoning Application .....	1
2.	Defined Terms & Site Legend .....	2
3.	Statement of Development Objectives .....	5
4.	Master Development Plan .....	6
5.	Permitted Land Use Map .....	9
6.	Permitted Land Uses .....	10
7.	Permitted Density .....	12
8.	Base Zoning District Standards .....	13
9.	Design Standards & Pattern Book .....	15
10.	Landscaping, Parks and Open Spaces Plan .....	85
11.	Lighting and Screening Plan .....	93
12.	Signage Plan .....	94
13.	Parking, Access and Traffic Plan .....	96
14.	Utilities and Storm Drainage Plan .....	99
15.	Development Schedule and Construction Phasing .....	101
16.	Plan of Subdivision, Ownership, Maintenance and Restrictive Covenants .....	103
17.	Size, Address and Tax Parcel Identification Numbers .....	106
18.	Survey with Elevations & Aerial Photograph .....	107
19.	Vicinity Map with Current Zoning .....	110
20.	Legal Descriptions .....	111
21.	Title Letter .....	112
22.	Names & Addresses of Adjoining Property Owners .....	113
23.	Appendices .....	115
A.	Appendix A: Parking Study .....	115
B.	Appendix B: Traffic Study .....	117
C.	Appendix C: Three-Dimensional Conceptual Renderings .....	121
D.	Appendix D: Enlarged Illustrative Master Plan .....	125
E.	Appendix E: Dimensioned Illustrative Master Plan .....	127
F.	Appendix F: Inn/Commercial Use Area Sidewalk and Lighting Plan .....	128
G.	Appendix G: Alternate Drive Through and Access Plan .....	134

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**LANE PARKE**  
MOUNTAIN BROOK VILLAGE

Evson, Inc. and Daniel Corporation are submitting a requested modification to the Planned Unit Development zoning for Lane Parke. The modification involves a revised Illustrative Master Plan, modifications to the phasing of the project, and associated modifications to the parking and traffic recommendations for Lane Parke.

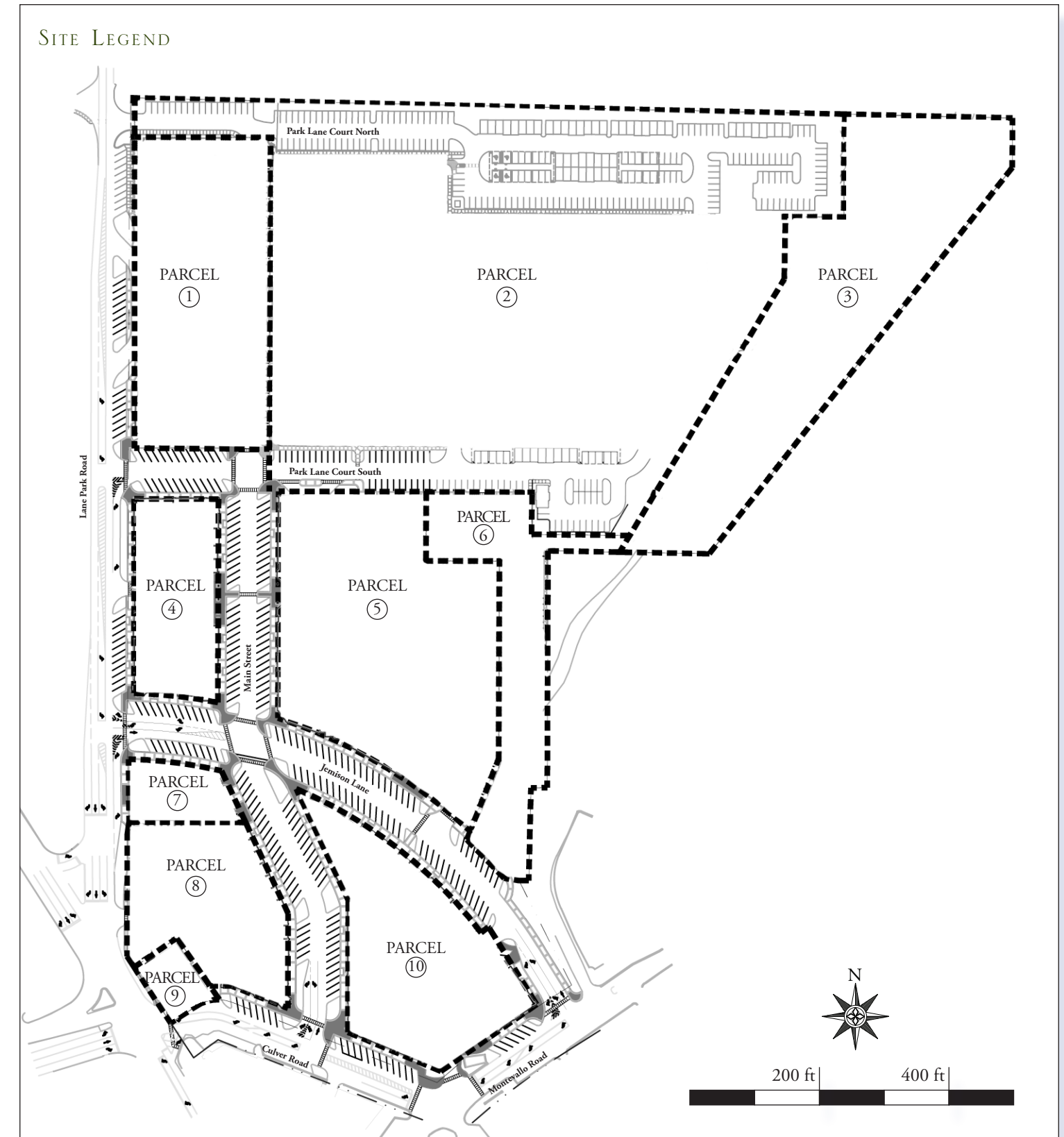


As used in this PUD Application, the following terms are defined as follows:

1. **Architectural Styles** means the Architectural Styles more particularly described in the Pattern Book.
2. **Building Typologies** means the permitted building types and specifications designated as Building Typologies and more particularly described in the Pattern Book.
3. **City** means the City of Mountain Brook, Alabama.
4. **City Code** means The Code of the City of Mountain Brook, Alabama.
5. **City Council** means the City Council of the City of Mountain Brook, Alabama.
6. **Design Committee** means the City's village design review committee as defined in the City Code.
7. **Design Review Process** means the Design Review Process described in Section 9 of this PUD Application.
8. **Design Standards** means the Design Standards set forth in Section 9 of this PUD Application.
9. **Evson Parcel** means that portion of the Property owned by Evson, Inc., an Alabama limited liability company, and more particularly described in Section 20 of this PUD Application.
10. **Gross Floor Area** means the total enclosed floor area of all floors of a building (including mezzanines), measured from the exterior faces of exterior walls and from the center line of walls separating buildings, including basements, lobbies, common areas, elevator shafts, stairwells, mechanical or equipment rooms, common corridors, building amenity areas, storage areas, enclosed garages, attics (whether or not a floor has actually been laid, providing structural headroom of 6'6" or more) and any other fully enclosed spaces of the building, whether leased to tenants or not. Gross Floor Area shall exclude rooftops, plazas, covered walkways, covered parking areas, outdoor dining or market areas, balconies, porches, terraces, loading docks, roof overhangs and any other non-enclosed areas (whether covered by a roof or not).
11. **Illustrative Master Plan** means the Illustrative Master Plan included in Section 4 of this PUD Application.
12. **Jemison Lane** means the proposed right of way identified as Jemison Lane on the Site Legend set forth on Page 3.
13. **Landscape Standards** means the Landscape Standards set forth in the Landscaping, Parks and Open Space Plan included in Section 10 of this PUD Application.
14. **Lane Parke** means the Property and all improvements, public and private, to be constructed on the Property in accordance with the Lane Parke Plan.
15. **Lane Parke Plan**, as amended, means the plans for Lane Parke submitted for review pursuant to this PUD Application.
16. **Lighting and Screening Standards** means the Lighting and Screening Standards set forth in the Lighting and Screening Plan included in Section 11 of this PUD Application.
17. **Local Business District Standards** means the regulations and standards set forth in Sections 129-191 through 129-197 of the City Code as in effect as of January 1, 2012.
18. **Main Street** means the proposed right of way identified as Main Street on the Site Legend set forth on Page 3.
19. **Master Association** means any Master Association created in connection with the Master Declaration of Restrictions and Easements more particularly described in Section 16 of this PUD Application.
20. **Net Leasable Area** means the total enclosed floor area designed for the exclusive use of an occupant, including any basements, but excluding lobbies, common areas, elevator shafts, stairwells, mechanical or equipment rooms, common corridors, building amenity areas, storage areas, garages, covered parking areas, loading docks and any other areas

- not set aside for the exclusive use of occupants of the building. Unless otherwise noted in this PUD Application, all references to "square feet", "square foot" or "square footage" shall refer to the number of square feet of Net Leasable Area.
- 21.
22. **Parcel** means the corresponding parcel of land identified as Parcel "1 – 10" on the Site Legend set forth on Page 3, or any other legal parcel of land within Lane Parke now existing or created in the future by a Preliminary or Final Subdivision Plat submitted in connection with the development of Lane Parke.
23. **Parking Structure** shall mean any parking structure approved to be constructed in accordance with the Lane Parke Plan.
24. **Park Lane Court North** means the proposed right of way identified as Park Lane Court North on the Site Legend set forth on Page 3.
25. **Park Lane Court South** means the proposed right of way identified as Park Lane Court South on the Site Legend set forth on Page 3.
26. **Pattern Book** means the Pattern Book included in Section 9 of this PUD Application.
27. **Permitted Density** means the total number of square feet of Net Leasable Area permitted to be constructed within Lane Parke, as more particularly set forth in Section 7 of this PUD Application.
28. **Phase(s)** means any one or more of the phases of anticipated construction, consisting of a Residential Phase, a Grocery/Commercial Phase, a Retail Phase and an Inn Phase, each as more particularly described and shown in Section 15 of this PUD Application.
29. **Planning Commission** means the Planning Commission of the City of Mountain Brook, Alabama.
30. **Property** means the real property more particularly described in Section 20 of this PUD Application that is to be re-zoned to a Planned Unit Development District.
31. **Project Owner** means Evson, Inc., an Alabama corporation, and its successors and/or assigns.
32. **PUD Application** means this document, all schedules and exhibits attached hereto or provided in connection herewith, and all amendments and modifications hereto.
33. **Ray Building** means the building identified as the "Ray Building" on the Illustrative Master Plan.
34. **Ray Parcel** means that portion of the Property currently owned by RC Limited, LLC, an Alabama limited liability company, and more particularly described in Section 20 of this PUD Application.
35. **Regulating Plan** means the Regulating Plan more particularly described in the Pattern Book.
36. **Residence G Standards** means the regulations and standards for the Residence G Residential District set forth in Sections 129-531 through 129-535 of the City Code as in effect as of January 1, 2012.
37. **Shared Parking Analysis** means the Shared Parking Analysis as defined in Section 13 of this PUD Application.
38. **Shared Parking Assumptions** means the square footages assigned to each category of uses within Lane Parke that serve as the basis upon which the Shared Parking Analysis was made, as particularly described in Section 13 of this PUD Application.
39. **Shared Parking Opinion** means a Shared Parking Opinion as defined in Section 13 of this PUD Application.
40. **Total Parking Supply** means the Total Parking Supply as defined in Section 13 of this PUD Application.
41. **Unit** means any condominium unit created on any Parcel or within any

42. **Use Area** means any of the Use Areas more particularly described in Section 6 of this PUD Application.
43. **Village** means Mountain Brook Village.
44. **Village Green** means the Village Green as defined in Section 10 of this PUD Application.
45. **Village Master Plans** means the Village Master Plans adopted by the Planning Commission as of June, 2007.
46. **Village Overlay Standards** means the regulations and standards set forth in Sections 129-551 through 129-557 of the City Code as in effect as of January 1, 2012.
47. **Woodland Park** means the Woodland Park as defined in Section 10 of this PUD Application.



Consistent with the goals and ideals of the Village Master Plans, Lane Parke has been designed and planned around the following concepts:

- To be a seamless extension of Mountain Brook Village that preserves the diversity of its architectural heritage and community oriented, pedestrian scale.
- To enhance the Village by cultivating pedestrian connections, adding green space, improving storm water mitigation measures and providing ample parking.
- To create a competitive retail environment that will attract an array of upscale retailers which will increase the available revenue base the City uses to support community services and schools.

When completed, Lane Parke will replace the aging Mountain Brook Shopping Center and Park Lane Apartments with updated retail space, ample parking alternatives, new residential options, an upscale inn and office space. The ±27 acre Property is ideally suited to accommodate this diversity of uses when comprehensively planned in accordance with the Planned Unit Development Zoning Classification established pursuant to Section 129-261 of the City Code. Accordingly, the Lane Parke Plan has been conceived in accordance with the following planning objectives:

1. To advance the vision for Mountain Brook Village as articulated in the Village Master Plans by (i) creating new development around the perimeter of the Village that will contribute to the vitality of the Village as a whole, (ii) providing opportunities for more evening business and community activity, (iii) providing additional parking alternatives in Mountain Brook Village through additional surface parking and discrete structured parking and (iv) enhancing the shopping, dining and entertainment choices in the Village.

2. To preserve the character and tradition of Mountain Brook Village as a pedestrian friendly, community oriented destination, while incorporating flexibility in design and operation that is critical to attract and maintain leading retailers.
3. To cultivate a festive environment for families and events through amenities to be shared by all of Mountain Brook Village, such as green spaces, marketplace ambiance, broad sidewalks and open plazas that will characterize Lane Parke and invite leisurely strolls, al fresco dining, sidewalk shopping and community gatherings.
4. To design, construct and operate Lane Parke in a manner that is sympathetic to the existing Village and minimizes impacts on adjacent neighborhoods by focusing on transitions between uses, setbacks, topography, vegetation, screening and green space.
5. To complement the existing aesthetic of Mountain Brook Village by emphasizing architectural quality, promoting attractive and pedestrian oriented streetscapes, integrating the Property with the Village and maintaining rich landscaping and green space.
6. To continue to assist the City's flood mitigation efforts by augmenting the existing storm water management system.
7. To improve traffic circulation within Lane Parke by introducing street and signal improvements and eliminating access points.
8. To minimize disruptions to the Property through phased construction.
9. To achieve a more efficient and economical arrangement of buildings, lots, uses, circulation and supporting infrastructure than would be feasible under the current zoning classifications applicable to the Property.

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EXISTING CONDITION



ILLUSTRATIVE MASTER PLAN



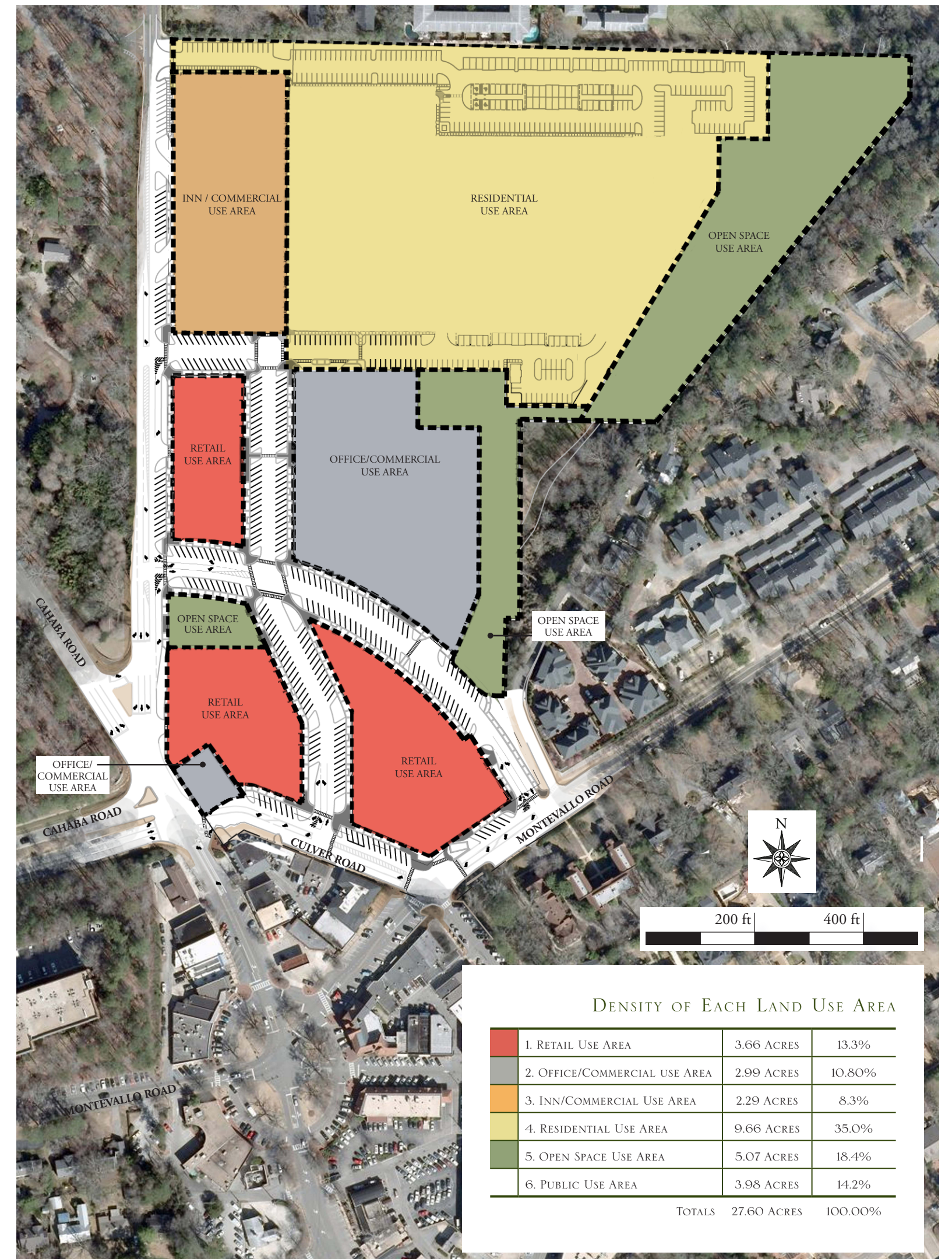
SUMMARY OF PROPOSED RESIDENTIAL STRUCTURES (AS PROPOSED BY THE ILLUSTRATIVE MASTER PLAN)

1.	DISTRIBUTION OF HOUSING TYPES	
	MULTI-FAMILY UNITS	
2.	LOCATION, GROUPINGS AND ORIENTATION	
	SEE DESIGN STANDARDS AND ILLUSTRATIVE MASTER PLAN	
3.	NUMBER OF UNITS	
	276 MULTI-FAMILY UNITS	
4.	MAXIMUM HEIGHT AND STORIES	
	SEE DESIGN STANDARDS	
5.	EXISTING AND PROPOSED FLOOR AREA	
	EXISTING (NET LEASABLE AREA)	PROPOSED (NET LEASABLE AREA)
	275,900 SF	303,600 SF

SUMMARY OF PROPOSED NON-RESIDENTIAL STRUCTURES (AS PROPOSED BY THE ILLUSTRATIVE MASTER PLAN)

1.	TYPES OF USES	
	RETAIL, OFFICE/COMMERCIAL, INN/COMMERCIAL	
2.	LOCATION, GROUPINGS AND ORIENTATION	
	SEE DESIGN STANDARDS AND ILLUSTRATIVE MASTER PLAN	
3.	MAXIMUM HEIGHT AND STORIES	
	SEE DESIGN STANDARDS	
4.	EXISTING AND PROPOSED FLOOR AREA	
	EXISTING (NET LEASABLE AREA)	PROPOSED (NET LEASABLE AREA)
	RETAIL 71,529 SF OFFICE* 7,197 SF INN 0 SF	RETAIL 116,000 SF OFFICE* 7,197 SF INN 99,000 SF

\* Inclusive of the 5,000 Square Foot Ray Building.  
Dedicated on-site parking provided for Ray Building.





**PERMITTED USES**

Multiple uses shall be permitted within Lane Parke including retail, hospitality, office, service, residential, green space, parking and municipal uses, as more particularly set forth below.

Lane Parke is divided into each of the following Use Areas, the location and boundaries of which are shown in Section 5 on Page 9. All uses are permitted by right unless (i) expressly limited or conditioned herein or (ii) the square footage of any specific use would exceed the Shared Parking Assumption for such specific use, as outlined in Section 13, in which case such specific use shall be conditioned upon the delivery by Project Owner of a Shared Parking Opinion, in accordance with Section 13, confirming that the parking demand created by such specific use shall not exceed the Total Parking Supply.

**Retail Use Area.** Within areas designated Retail Use Area, the following uses are permitted by right:

1. Antique stores;
2. Appliances and electronic goods and equipment;
3. Arts and crafts stores;
4. Bakeries selling food from the premises;
5. Banks and financial services firms;
6. Barber shops (limited to one);
7. Bars, pubs and other establishments primarily engaged in the sale of alcoholic beverages for on-site consumption;
8. Bookstores;
9. Bridal shops;
10. Not used;
11. Clothing stores;
12. Coffee shops;
13. Computer and electronics stores;
14. Not used;
15. Dry cleaning establishments where no laundering or cleaning is done on the premises;
16. Electronic and electrical repair shops;
17. Fitness centers;
18. Florist shops;
19. Furniture stores;
20. Garden and lawn stores;
21. General merchandise stores, including full-line department stores;
22. Gift shops;
23. Grocery stores;
24. Hardware stores;
25. Ice cream parlors;
26. Interior design shops that include the on-site exchange of merchandise for general consumers;
27. Jewelry stores;
28. Liquor, wine and/or spirits stores;
29. Meat, seafood, vegetable and fruit markets;
30. Parcel delivery and packaging stores;
31. Personal fitness trainers and studios, health clubs, spas, dance/yoga studios and similar facilities;
32. Pet shops;
33. Pharmacies;
34. Photography studios;
35. Not used;

36. Rental and sale of electronic media and related items;
37. Restaurants, cafes, cafeterias and delicatessens, provided however, that the Shared Parking Assumptions shall not apply to restaurant, cafeteria or delicatessen uses that are ancillary to a primary use within the Inn/Commercial Use Area or the Retail Use Area (such as a delicatessen within a grocery store);
38. Shipping and wrapping of packages and sale of related items;
39. Not used;
40. Shoe stores;
41. Sporting goods stores;
42. Not used;
43. Travel agents;
44. United States Post Office;
45. Variety stores;
46. Streets, rights of way, service roads, access ways and drive aisles (both private and public);
47. Sidewalks and pedestrian passage ways;
48. Drive through facilities, if implemented in accordance with the Design Standards;
49. Accessory uses customarily incidental to the uses permitted in the Retail Use Area;
50. Any other business that provides for the display and on-site exchange of merchandise for general consumers that is not otherwise prohibited under the City Code;
51. Not used;
52. Not used;

The following conditional uses may be permitted within Lane Parke, but only with the prior written approval of the city council:

1. Daycare centers;
2. Physical therapists;
3. Shoe repair shops;
4. Theaters for the performing arts;
5. Business offices and professional offices.

**Office/Commercial Use Area.** Within areas designated Office/Commercial Use Area, the following uses are permitted by right:

1. Any use permitted in the Retail Use Area;
2. Any conditional use permitted within the Retail Use Area but only with the prior written approval of the City Council;
3. Not used;
4. Public and private parking structures;
5. Commercial uses ancillary to the operation of a parking structure, such as administrative space for parking structure management and valet services, an automobile wash/detail service and storage space;
6. Streets, rights of way, service roads, access ways and drive aisles (both public and private); and
7. Storage, back office support, mechanical or other uses ancillary to any primary use permitted under the Retail Use Area, Office/Commercial Use Area, Inn/Commercial Use Area, Residential Use Area or Public Use Area.

**Inn/Commercial Use Area.** Within areas designated Inn/Commercial Use Area, the following uses are permitted by right:

1. Inns, bed and breakfast establishments and hotels, provided however, in no event shall such use include more than one-hundred (100) rooming units;
2. Administrative office uses;
3. Meeting/conference uses ancillary to the operation of a full service inn;
4. Kitchen and catering services for use in connection with meeting/conference uses and for the provision of room service;
5. Commercial uses ancillary to the operation of a full service inn, including salons, pool, spas, gym, laundry/cleaning services, valet services, concierge services and other amenities;
6. Newsstands, gift shops, galleries, shops selling sundry items, coffee shops or shops selling food items for carry out only located within an inn, bed and breakfast establishment or hotel;
7. Any use permitted in the Retail Use Area, provided however, that (i) the square footage of Net Leasable Area devoted primarily to uses permitted within the Retail Use Area shall not exceed the Permitted Density and (ii) no more than one (1) sit-down, full service restaurant shall be permitted in the Inn/Commercial Use Area;
8. At any time following the date that is three (3) years following approval of this PUD Application, if by such date, construction of an Inn, bed and breakfast establishment, or a hotel has not commenced, any use permitted in the Residential Use Area, provided, however, in the event the Inn/Commercial Use Area is used as residential dwelling units, the Inn/Commercial Use Area shall not include more than forty (40) residential units;
9. Streets, rights of way, service roads, access ways and drive aisles (both public and private);
10. Sidewalks and pedestrian passage ways; and
11. Structured parking in accordance with the Inn Building typology.

**Residential Use Area.** Within areas designated as Residential Use Area, the following uses are permitted by right:

1. Residential dwelling units, provided however, the Residential Use Area shall not include more than two-hundred seventy-six (276) residential units;
2. Enclosed garages and covered parking;
3. Leasing and sales offices;
4. Amenities, improvements, storage and mechanical uses ancillary to residential dwelling units, including but not limited to a pool, gym, laundry/cleaning services and recreational facilities;
5. Streets, rights of way, service roads, access ways and drive aisles (both public and private); and
6. Sidewalks and pedestrian passage ways.

**Open Space Use Area.** Within areas designated Open Space Use Area, the following uses are permitted by right:

1. Parks;
2. Playgrounds;
3. Green space;
4. Trails;
5. Outdoor dining areas;
6. Amenities, valet services, pavilions, amphitheatres and accessory structures ancillary to the foregoing uses; and
7. Special events, including festivals, parades, races, assemblies, gatherings and other events permitted under the City Code provided such special events are sponsored and the sponsor thereof satisfies all requirements of the City Code with respect to thereto.

**Public Use Area.** Within areas designated Public Use Area, the following uses are permitted by right:

1. Streets, rights of way, service roads, access ways and drive aisles (both public and private);
2. Sidewalks and pedestrian passage ways;
3. Special events, including festivals, parades, races, assemblies, gatherings and other events permitted under the City Code, provided such special events are sponsored and the sponsor thereof satisfies all requirements of the City Code with respect thereto; and
4. Sidewalk vending and kiosk operations located on sidewalks and other pedestrian passage ways, provided that (except for special events for which a separate permit is obtained pursuant to the City Code):
  - a. there shall be no more than five (5) sidewalk vending or kiosk locations within Lane Parke;
  - b. such vending or kiosk site operations shall be conducted from a fixed location (though nothing herein shall prevent any vending or kiosk structure from having wheels or otherwise being capable of being transported);
  - c. the location of such vending or kiosk site shall not lead to or cause significant congestion or blocking of pedestrian traffic;
  - d. all items or services to be sold must be a permitted use under the Retail Use Area;
  - e. the design of any vending or kiosk structure has been approved by the Design Committee; and
  - f. the operator of such vending or kiosk site shall have obtained a business license pursuant to the City Code and shall otherwise be in compliance with all applicable provisions of the City Code.



7. PERMITTED DENSITY

PERMITTED DENSITY

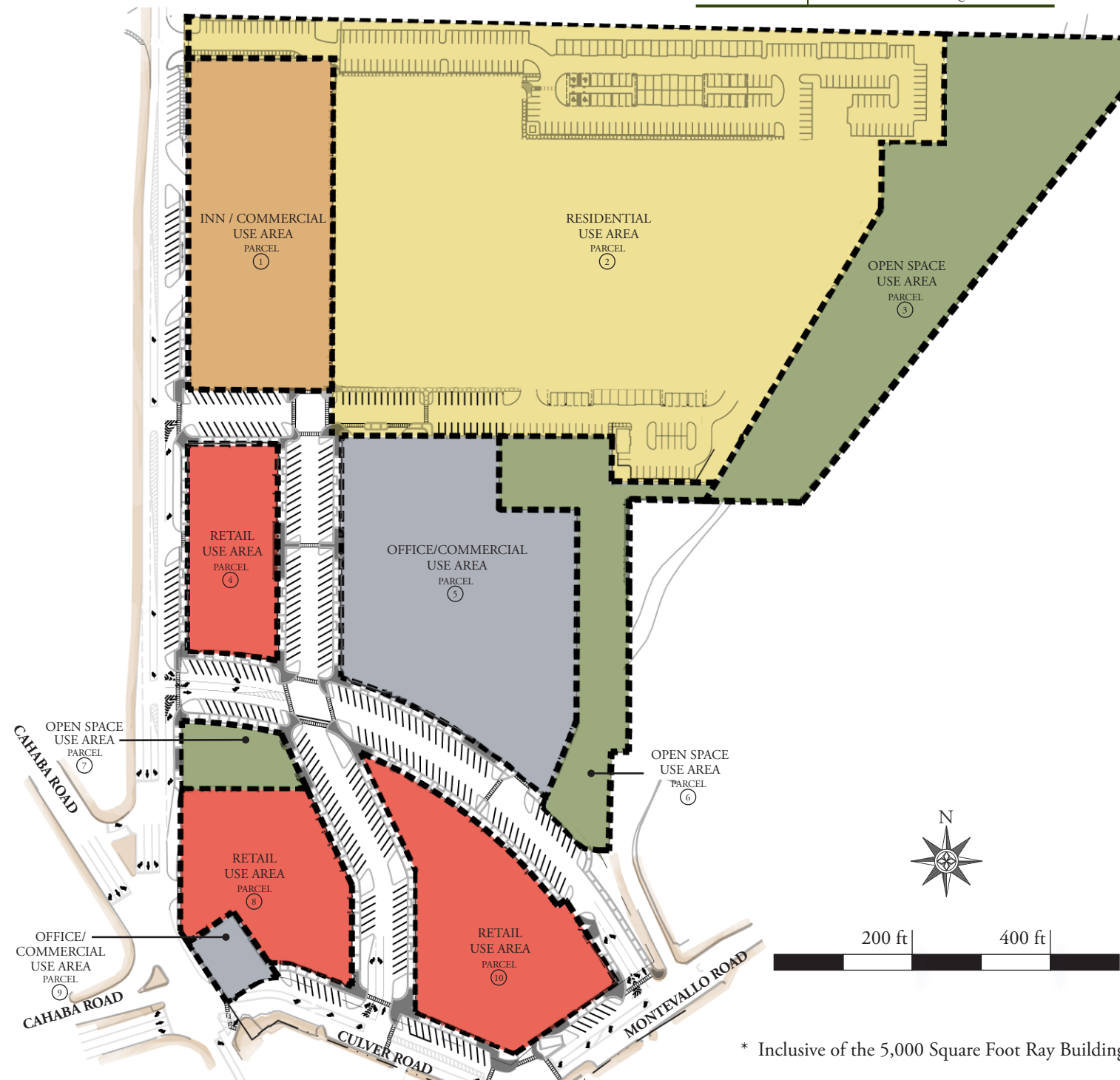
The density of land uses within Lane Parke shall not exceed (collectively, the “Permitted Density”): (i) with respect to each Use Area, the Maximum Square Footage Per Land Use set forth in Table 1 below, as adjusted for the Programming Allowance, and (ii) with respect to each Parcel, the Maximum Square Footage Per Parcel set forth in Table 2 below. The Maximum Square Footage Per Land Use set forth in Table 1 below for the Retail Use Area and the Office/Commercial Use Area may each increase by up to 5% based upon the final programming requirements of building occupants provided that the incremental parking demand resulting from such increase shall not exceed the Total Parking Supply, as determined by a Shared Parking Opinion (the “Programming Allowance”). In no event shall the ratio of Net Leasable Area to Gross Floor Area for any Use Area or Parcel exceed 1 to 1.15.

TABLE 1 - NET LEASABLE AREA PER LAND USE

USE AREA	MAXIMUM NET LEASABLE AREA
1. RETAIL USE AREA	85,400 SF
2. OFFICE/COMMERCIAL USE AREA	OFFICE: 15,000 SF*      RETAIL: 54,000 SF
3. INN/COMMERCIAL USE AREA	INN/RETAIL: 105,500 SF
4. RESIDENTIAL USE AREA	303,600 SF
TOTALS	563,500 SF

TABLE 2 - NET LEASABLE AREA PER PARCEL

PARCEL	MAXIMUM NET LEASABLE AREA
PARCEL 1	105,500 SQ FT
PARCEL 2	303,600 SQ FT
PARCEL 3	0 SQ FT
PARCEL 4	22,000 SQ FT
PARCEL 5	64,000 SQ FT
PARCEL 6	0 SQ FT
PARCEL 7	0 SQ FT
PARCEL 8	29,200 SQ FT
PARCEL 9	5,000 SQ FT
PARCEL 10	30,150 SQ FT



8. BASE ZONING DISTRICT STANDARDS

BASE ZONING DISTRICT STANDARDS

The base zoning district for Parcel 1 and Parcels 3 – 10 shall be the Local Business District Standards and the Village Overlay Standards.

The base zoning district for Parcel 2 shall be the Residence G Standards and the Village Overlay Standards.

The buildings and uses within Lane Parke shall generally comply with the Local Business District Standards, the Residence G Standards and the Village Overlay Standards, as applicable, except as specifically set forth herein.

Because the Project Owner will be creating a new street network with unique Design Standards applied to multiple uses, deviations from the base zoning district standards are needed to provide sufficient flexibility to achieve the goals of the Village Master Plan and the Development Objectives of Lane Parke, as outlined in this PUD Application.

Notwithstanding anything contained herein or in the City Code to the contrary, the following deviations from the Local Business District Standards, the Residence G Standards and the Village Overlay Standards shall be permissible within Lane Parke:

	BASE ZONING DISTRICT STANDARDS	LANE PARKE PLAN	REASON FOR DEVIATION
<b>USES</b>			
Uses	Uses permitted in the Residence G Standards and the Local Business District Standards	See Section 6 for the Permitted Uses in Lane Parke.	By integrating a new street network, new parking infrastructure, better pedestrian connections and better traffic circulation through a comprehensive plan, the existing residential and commercial uses can be better integrated, and new, compatible uses introduced, in an efficient manner that avoids negative impacts on surrounding areas and satisfies the objectives of the Village Master Plan.
<b>DENSITY</b>			
Residential	12 units per acre per floor.	See Section 7 for the Permitted Density.	Lane Parke has been designed to provide sufficient parking,
Commercial	Limited by parking and height requirements.	See Section 7 for the Permitted Density.	traffic circulation and green space to serve the increased density.
<b>BUILDING TYPOLOGIES</b>			
Building Typologies	Allows Street-Front, Free-Standing and Stacked Flat Buildings	Introduces Grocery, Inn, Parking Structure and Residential Typologies and building limitations for each.	Additional typologies are required to accommodate the proposed uses in Lane Parke.
<b>REGULATING PLAN</b>			
Regulating Plan	See existing regulating plan in the Village Overlay Standards.	See new Regulating Plan for Lane Parke on pages 22 and 23.	Lane Parke is establishing a new and different street network than contemplated in the existing regulating plan.
<b>HEIGHT OF BUILDINGS</b>			
Parapet	2-4'	Minimum 3'	To ensure all rooftop equipment is hidden from view.
Residential	Maximum 3 stories / 46' Pitched roofs allowed up to 16'	Maximum 4 stories / 66' Pitched roofs allowed up to 20'	In the locations of the Inn Building and Residential Buildings, these heights are consistent with the height increases contemplated by the Village Master Plan. The additional allowed heights are mitigated by their location well removed from the core of the Village, the design features required by the Design Standards and the Open Space Requirements.
Inn	Maximum 3 stories / 46' Pitched roofs allowed up to 13'	Maximum 4 stories / 66' Pitched roofs allowed up to 20'	New building typology.
<b>FIRST STORY HEIGHT (INTERNAL)</b>			
Street-Front	12' Minimum	May exceed 18' in height provided that such first story internal building heights shall not exceed 30'	To accommodate the required specifications of proprietors occupying more than one story
Free-Standing	18' Maximum		
<b>REQUIRED GROUND FLOOR ELEVATION</b>			
Street-Front	0-1'	Not applicable along Montevallo Road and Culver Road	The construction of topography and drainage improvements within Lane Parke will dictate the ground floor elevation heights to mitigate flood risk.
Free-Standing			
<b>REQUIRED FRONT BUILDING LINE</b>			
Free-Standing	10-25'	Minimum 5'	To more closely align Free-Standing Buildings with Street-Front Buildings and create a more consistent street edge.
Residential	22-26'	Minimum 10'	To allow for greater spacing between structures, and to provide a center courtyard for the addition of green space and amenities.
Additional deviations		Front building lines along streets and rights of way may vary in accordance with the Design Standards  Front building line requirements shall not apply to drive aisles; access points to any structured parking; and canopies, porte cocheres, balconies and other similar building overhangs	To enhance architectural character and visual interest along the street front.  To allow for efficient vehicular travel and convenient access to parking within the Lane Park Plan.
<b>SIDE YARD SETBACKS</b>			
Free-Standing	10% of Lot width or 10', whichever is less	5'	To more closely align Free-Standing Buildings with Street-Front Buildings and create a more consistent street edge.
Residential	10% of Lot width or 10', whichever is less	5'	To allow for greater spacing between structures, and to provide a center courtyard for the addition of green space and amenities.
<b>MINIMUM REAR YARD SETBACK</b>			
Free-Standing	10'	5'	To allow more building frontage on lots restricted in size by utility easements and drainage/floodway easements.
Residential	20'	10'	To allow for greater spacing between structures, and to provide a center courtyard for the addition of green space and amenities.



REQUIRED LOT WIDTH & MINIMUM LOT DEPTH			
Free-Standing	60' width	Not Applicable	Lane Parke will be divided into Parcels as identified on Page 3 of this PUD Application. The Design Standards and Illustrative Master Plan contemplate buildings and structures being oriented with respect to such Parcels, so minimum lot widths and depths are not necessary.
Street-Front	25' width		
Residential	60' width; 100' depth		
STREET WALL			
Street-Front	Street wall to cover 90-100% of a lot	Not applicable to drive aisles and access points to any structured parking	To allow for efficient vehicular travel and convenient access to parking within the Lane Parke Plan.
Residential	Street wall to cover 65-100% of a lot	Not Applicable	To allow for greater spacing between buildings, and to provide a center courtyard for the addition of green space and amenities.
PRIMARY ENTRANCES			
Primary Entrances	One (1) primary entrance to be located every 50' of street frontage on Primary Frontages	Exceptions permissible with respect to tenants occupying in excess of 4,000 square feet of space that require single point entry	To accommodate the requirements of larger tenants in the Lane Parke Plan.
FACADE PROJECTIONS			
Free-Standing	Bay windows and balconies may extend up to 5' from the facade, but may not extend over front building line.	Bay windows and balconies may extend up to 3' over the front building line.	To allow for more variation on buildings that preserve a tight street edge.
PARKING, VEHICLE AND PEDESTRIAN ACCESS STANDARDS			
Parking Quantity	Retail-5 per 1,000; Service-5 per 1,000; Office-4 per 1000; Residential-2 per dwelling unit plus visitor spaces	Parking quantity and access will be implemented in accordance with the Parking, Access and Traffic Plan included in Section 13 of this PUD application	Parking quantities incorporate shared use reductions, as allowed by the Village Overlay Standards.
Parking Design	Parking for all residential uses shall be located in the rear of any residential building, and no parking shall be permitted in any front yard or side yard; allowance for visitor parking in front of any building if located on – street and available for public use	Parking design for the Residential Use Area will be implemented in accordance with the Parking, Access and Traffic Plan included in Section 13 of this PUD application, which does not forbid parking in front or side yards	This will allow for multiple, yet smaller and more discreet, parking fields and is necessary to provide a center courtyard for the addition of green space and amenities. The location of the Residential Buildings away from the commercial core of Lane Parke and the Village mitigates the aesthetic impacts of parking areas within front and side yards.
Vehicle Access Limitations	Vehicle access to all lots shall be limited according to frontage type on the applicable Building and Development Regulating Plan	The limitation on vehicle access to buildings for both Primary and Secondary Frontages shall not apply to drive aisles and access points to any structured parking, as generally depicted in the Illustrative Master Plan	To allow for efficient vehicular travel and convenient access to parking within the Plan, so service areas will be located in accordance with the Parking, Access and Traffic Plan in Section 13 of this PUD Application.
Drive-through Facilities	Drive-through facilities may be permitted only where ingress and egress is provided from a Secondary or Access Street as identified in the Master Plan	Drive-through facilities shall be permissible in four (4) locations in accordance with the Design Standards	The Design Standards comply with the spirit of the Village Overlay Standards but specific streets in the Lane Parke Plan vary from the layout in the Village Master Plan.
SERVICE YARDS			
Service Yards	Residence G Standards and Local Business District Standards require service yards to be located at the rear of the buildings and specify size and material requirements	Does not require service yards to be at the rear and dictates that service yards be screened from view (see Design Standards)	Some of the buildings in the Lane Parke Plan do not have a rear yard and will have streets on all sides. Accordingly, service areas shall be located in accordance with the Parking, Access and Traffic Plan and screened in accordance with the Design Standards.
MATERIAL SPECIFICATIONS			
Standards	All buildings shall have one primary material covering at least 70% of building facades	The primary material for Residential Buildings may consist of less than 70% coverage of the building facades	To break up the scale of this larger (up to 4-story) building type.
Building Materials	Primary Materials and Secondary Materials do not include the use of painted brick	Allows for the use of painted brick	To provide greater variety without compromising the aesthetic of Mountain Brook Village.
SIDEWALK WIDTH			
Sidewalk Width	Sidewalks on primary streets shall be 8-12' wide	The sidewalk on the section of Lane Parke Road north of Park Lane Court South shall be 6' minimum	This sidewalk will not support retail traffic and will serve as a transition to residential areas north of Lane Parke.

Additional notes:

1. Utilities. The Building Typology requirements do not apply where utility easements and drainage/floodway easements prohibit the ability to conform.
2. Ray Building. To the extent the Ray Building does not comply with the Village Overlay Standards, the Local Business District requirements or the Design Standards in any respect, no alterations to the Ray Building shall be required and the Ray Building may remain as currently constructed as a legal non-conforming structure. Any future material exterior alterations or renovations to the Ray Building shall conform to the appropriate Architectural Style set forth in the Pattern Book.
3. Design Standards. The Design Standards are hereby incorporated herein by reference and any provisions thereof not expressly identified above that deviate from the Village Overlay Standards, the Residence G Standards or the Local Business District regulations shall be permissible. To the extent any provisions of the Design Standards are inconsistent with the provisions of the Village Overlay Standards, the Residence G Standards or the Local Business District regulations, the Design Standards shall control.
4. Parking Design. The requirements related to Parking Design shall not apply, as parking and access will be implemented in accordance with the Parking, Access and Traffic Plan included in Section 13 of this PUD Application.



The standards set forth in this Section 9 shall apply to the design of buildings within Lane Parke and shall be collectively referred to as the “Design Standards”.

Plans, diagrams, illustrations and photographs have been included in Section 4 and in this Section 9 for purposes of reference and example (the “Design Examples”). Final exact locations of buildings and private streets, and the final designs, features and number of buildings may vary from those depicted in the Design Examples, but only to the extent such final designs are consistent with the Design Standards.

**BUILDINGS**

The design, orientation and architectural styling of buildings and façades in Lane Parke shall be in accordance with the Pattern Book included in this Section 9 on Pages 17 – 84 (the “Pattern Book”).

The section of the Pattern Book entitled General Design Guidelines, Regulating Plan & Building Typologies governs the orientation, massing, height and transparency of buildings and façades in, and establishes open space requirements for, Lane Parke. The Pattern Book provides the following Building Typologies that are permissible within Lane Parke: (i) Street-Front Buildings, (ii) Free-Standing Buildings, (iii) Residential Buildings, (iv) an Inn Building, (v) Parking Structure and (vi) Grocery Building. The Regulating Plan set forth on Page 22 designates the Building Typology that can be constructed within each Parcel within Lane Parke.

The section of the Pattern Book entitled Architectural Styles governs the architectural styling of each of the buildings and facades to be constructed within Lane Parke. The Pattern Book establishes the following Architectural Styles that are permissible within Lane Parke: (i) Village Romantic, (ii) Southern Mercantile, (iii) Birmingham Classic and (iv) Village Mid-Century. The design of each building or façade shall conform to the guidelines established in the Pattern Book for the designated Architectural Style.

**PARKING STRUCTURE**

Any Parking Structure shall be designed in accordance with the Parking Structure Building Typology and shall generally conform to the following:

Any Parking Structure shall be designed in a manner such that, except for views through access points to such Parking Structure, no substantial portion of any vehicle parked on the top level thereof shall be visible from ground level on Main Street, Jemison Lane, Culver Road or Lane Park Road.

Any Parking Structure which is open to public use shall contain bicycle racks conveniently located to encourage bicycle use.

**BUILDING DESIGNS, LOCATIONS AND SIZES**

The following changes in the designs, locations and sizes of buildings shall be permissible by right:

- The Illustrative Master Plan and the Three Dimensional Conceptual Renderings included in Appendix C are designed to show the general location of building footprints, public improvements, other development features and the relationships between those features. It is not intended to show precise details nor exact sizes, precise locations, or design features of Lane Parke. The Illustrative Master Plan and the Three Dimensional Conceptual Renderings included in Appendix C are not final engineering drawings, and features may be (and are expected to be) modified as final designs are developed pursuant to the Pattern Book and the Design Review Process. Examples of such modifications include the following:
  - Internal building layouts may be modified to meet tenant needs;
  - Building footprints may shift;
  - Buildings may be separated to provide for pedestrian passages, access between buildings, useable courtyard or landscaping space, or other outdoor spaces;
  - The location of private streets and parking spaces may be adjusted in accordance with final building layouts; and
  - Footprint details (such as corners, angles, bays, and like features) may vary.

However, with respect to any such modifications, (i) the Permitted Density, which includes the Net Leasable Area Per Land Use and the Net Leasable Area Per Parcel, shall not be exceeded except as is set forth in Section 7, (ii) the buildings and structures shall comply in all respects with the limitations established by the Pattern Book, and (iii) the location of Primary and Secondary Frontages shall not change, and the private streets shall comply in all respects with the limitations established by the Parking, Access and Traffic Plan, (iv) the Total Parking Supply shall not be reduced, and (v) the general locations, layout and configuration of buildings, improvements and features will be as shown on the Illustrative Master Plan.

- The square footage of space constructed within Lane Parke may be less than the total square footage proposed by the Illustrative Master Plan.
- Changes in building design to accommodate drive through facilities in accordance with the section of these Design Standards titled “Drive Through Facilities” set forth below.
- Changes in the location of surface parking spaces, provided the Total Parking Supply is provided and further provided that the general locations of buildings are as depicted in the Illustrative Master Plan.
- The construction of below grade basement space under any building provided that adequate parking is provided to accommodate any increases in usable space pursuant to the Parking, Access and Traffic Plan.



## DRIVE THROUGH FACILITIES

Drive through facilities may be designed and constructed as amenities to first floor retail or commercial space in the following locations as shown in the Parking, Access and Traffic Plan or in the Alternate Drive Through and Access Plan: (i) two locations within parcel 10, (ii) one location within parcel 8, and (iii) one location within parcel 5; provided however, that such drive through facilities may only service the following uses: (each being referred to individually as a “Drive Through Use Category”): (i) banks/financial institutions, (ii) pharmacies (including pharmacies ancillary to another primary use), (iii) dry-cleaners, (iv) coffee shops (in parcels 5 and 10 only), and (v) specialty food related concepts (in parcels 5 and 10 only) not included within the fast-food restaurant category such as bakeries, delicatessens and stores offering the sale of ice cream, yogurt and/or smoothies. The drive through location within parcel 8 may not service a coffee shop or a specialty food related concept. Fast-food restaurant uses may not utilize drive through facilities.

Prior to constructing any drive-through facilities, the Project Owner shall submit to the City Council a study prepared by a reputable traffic engineer (a “Stacking Study”) concluding that the stacking of vehicles for a particular Drive Through Use Category in a particular location will not have a material adverse impact on traffic and circulation within the Project and on any adjacent public roads. The Project Owner shall be permitted to construct a drive-through facility with respect to a particular Drive Through Use Category and location upon receipt of written approval from the City Council based on the City Council’s reasonable approval of the Stacking Study for such particular Drive Through Use Category and location.

## DESIGN REVIEW

In connection with the preparation of schematic design documents for any building(s), the Project Owner shall submit to the zoning officer (as defined in the City Code) schematic design drawings (site plan, floor plans and elevations of the buildings therein) (“Preliminary Plans”) for review and comment relative to compliance with the Design Standards. The zoning officer shall have the right to consult with the Design Committee for guidance on whether the Preliminary Plans comply with the Design Standards. Upon written request of the zoning officer, the Project Owner shall present the Preliminary Plans to the Design Committee at a regularly scheduled meeting

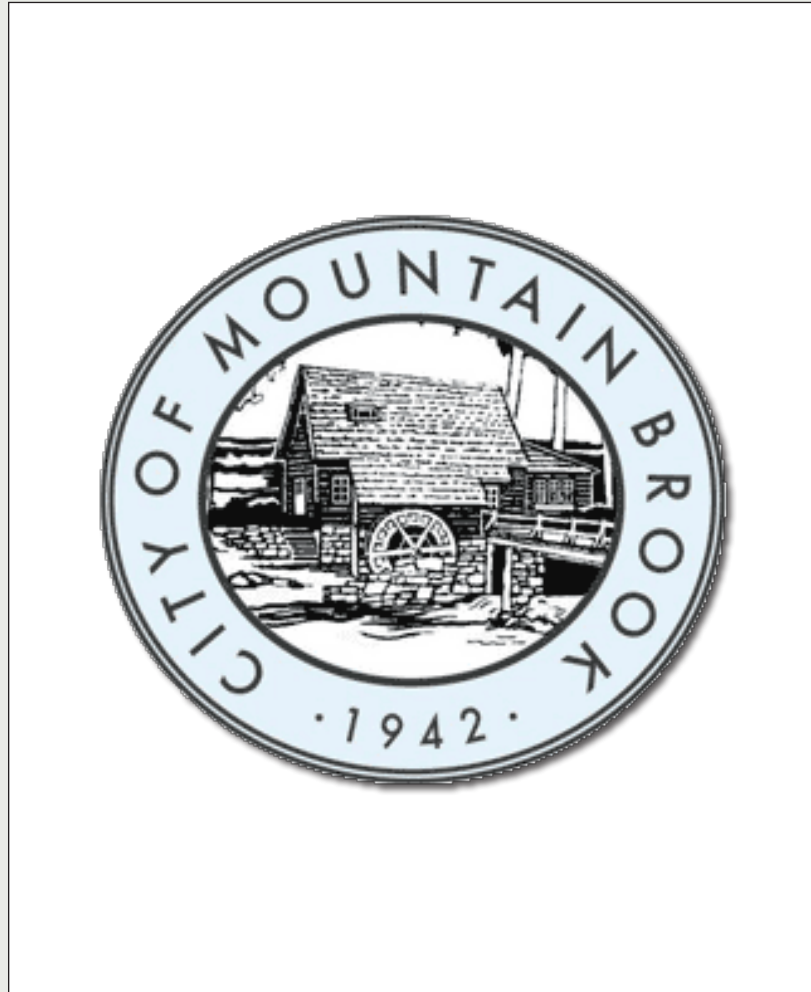
of the Design Committee and cooperate with any subsequent inquiries of the Design Committee. The zoning officer will notify the Project Owner in writing within 30 days of the last to occur of the submittal of the Preliminary Plans or the Project Owner’s presentation to the Design Committee if said Preliminary Plans do not comply with the Design Standards, which written notice shall include a description of why the Preliminary Plans are not in compliance with the Design Standards.

Prior to commencing construction on any building within Lane Parke, the Project Owner shall apply for a building permit in accordance with the requirements of Section 109-40 through Section 109-46 of the City Code. The zoning officer shall have the right to consult with the Design Committee to determine if the final plans for any building comply with the Design Standards.

The provisions of the foregoing two (2) paragraphs shall be referred to herein as the “Design Review Process”).

## DESIGN REVIEW — SIGNAGE AND AWNINGS

The Project Owner shall submit a final signage plan (based upon the Signage Plan included in Section 12 of this PUD Application) to the Design Committee for review and approval as a Master Sign Plan in accordance with the requirements of Section 121, Division 3, of the City Code and each business within Lane Parke, prior to erecting any signs or awnings, shall submit an application for a sign permit in accordance with the requirements of Section 121, Division 2, of the City Code.



# *Lane Parke*

## PATTERN BOOK

The following pages comprise the Pattern Book for Lane Parke. The Pattern Book consists of general design guidelines, permissible Building Typologies and permissible Architectural Styles. The purpose of the Pattern Book is to provide standards for the design and construction of buildings within Lane Parke that ensure continuity of architectural aesthetics and quality that is consistent with the heritage of the Village, and has been developed in a manner that is consistent with, and expands the intent of, the Village Master Plans, the PUD Zoning Ordinance and the Village Overlay Standards. The Pattern Book utilizes diagrams, photographs and renderings so that it can be used both as a regulating document and as a communication tool for presenting the character and feel of future development. The Pattern Book provides history based text, detailed diagrams and photographs to illustrate the minimum accepted design and construction criteria, while still allowing room for unique and creative design. The format of the Pattern Book is based upon architectural field guides and other academic publications recognized as authorities on defining historic architectural styles and precedents.

The Pattern Book has been produced by Historical Concepts with input from the Project Owner, their marketing and design teams, as well as key community stakeholders in order to gain a targeted and focused consensus for the vision of Lane Parke.

This Pattern Book shall govern the design of buildings and facades within Lane Parke, and shall control over any conflicting provisions of the Village Overlay Standards, Local Business District Standards, or the Residence G Standards.



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# Lane Parke

## GENERAL DESIGN GUIDELINES, REGULATING PLAN & BUILDING TYPOLOGIES

This section of the Pattern Book governs the orientation, massing, height and transparency of buildings and façades in, and establishes open space requirements for Lane Parke. The following Building Typologies are permissible within Lane Parke: (i) Street-Front Buildings, (ii) Free-Standing Buildings, (iii) Residential Buildings, (iv) an Inn Building, (v) a Parking Structure, and (vi) a Grocery Building.

The Regulating Plan set forth on Page 22 designates the Building Typology that can be constructed within each Parcel within Lane Parke.

The design of each building or façade shall conform to the Regulating Plan and the requirements of the applicable Building Typology. For each Building Typology, example diagrams have been included as reference material, provided however, such Design Examples shall not be construed as final designs. Final designs may vary from such Design Examples provided such designs substantially conform to the guidelines established for the applicable Building Typology. The Building Typology requirements do not apply where utility easements and drainage/floodway easements prohibit the ability to conform.

The Regulating Plan and the regulations in this Pattern Book regarding Building Typologies shall control over any conflicting provisions of the Village Overlay Standards, Local Business District Standards, or the Residence G Standards.



ARCHITECTURAL FEATURES

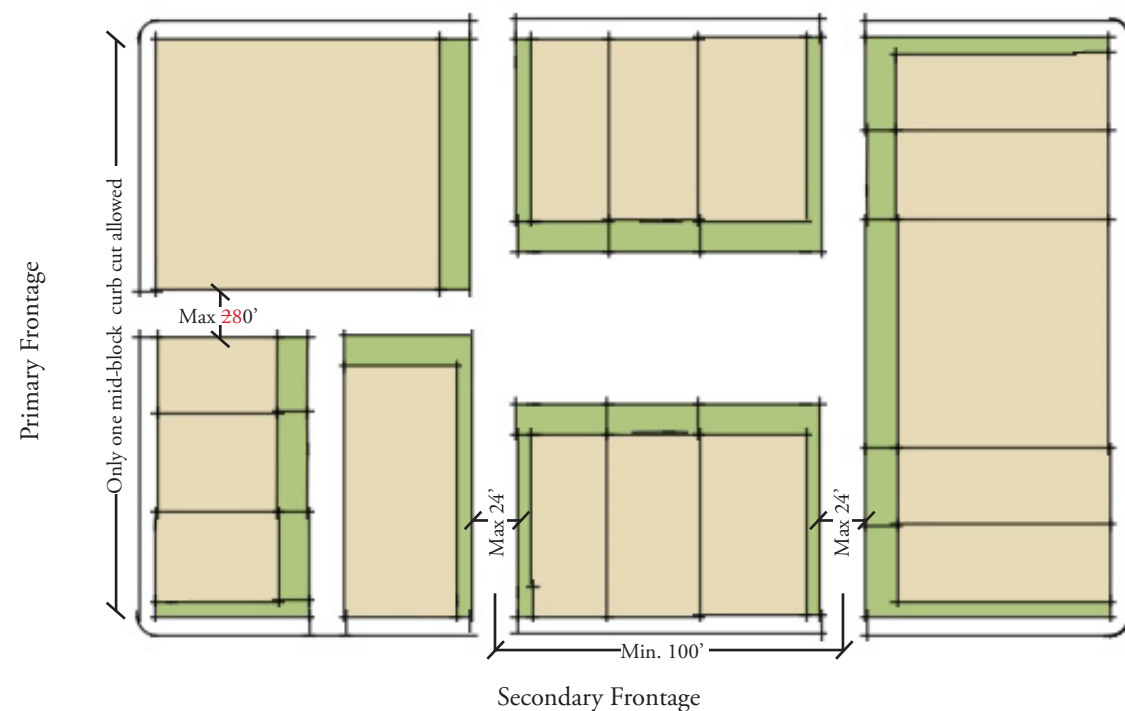
- The use of stylistically appropriate architectural features, such as towers and turrets, is encouraged to mark important public spaces in accordance with the following:
  - Public spaces where architectural features may be appropriate are the intersection of two public streets, the terminus of a street that ends in a “T” intersection, or fronting onto a significant public or open space such as a park or plaza.
  - The portion of the structure that exceeds the building height limit shall occupy no more than 20% of the building footprint.
  - Appropriate architectural features may be allowed to extend up to 10’ above the maximum allowed building height on buildings three stories or less, provided that they are appropriate to the Architectural Style and Building Typology.
- The use of ornamental features such as spires, chimneys and weather vanes is also encouraged where appropriate. Ornamental features may extend up to 6’ above the maximum allowed building height.
- At any and all points, the maximum building height (external) shall be measured from the existing grade of the sidewalk at the lot frontage, or the proposed grade at the front building line, whichever is lower.



VEHICULAR ACCESS

Vehicular access shall be limited upon the frontage type indicated on the Regulating Plan:

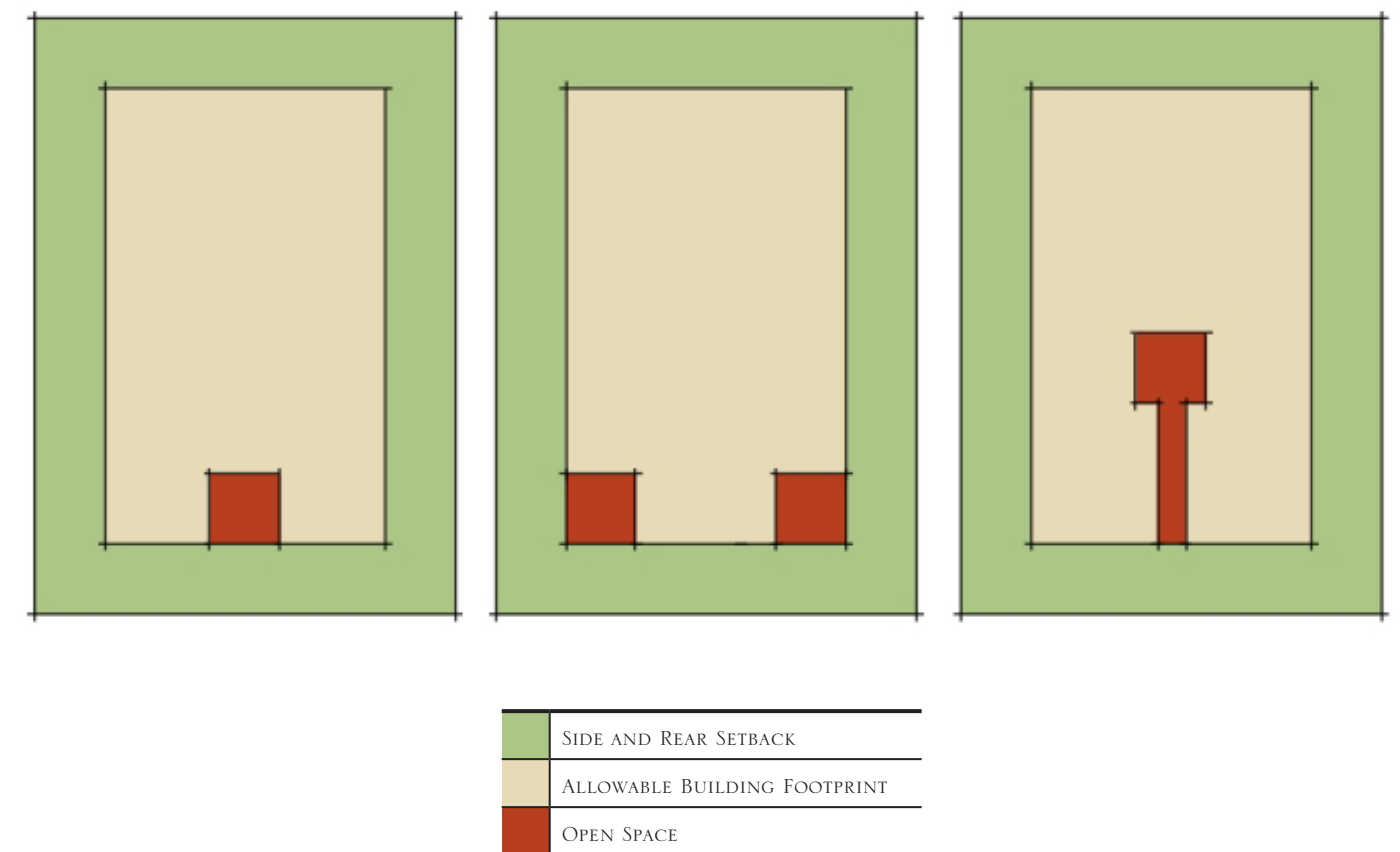
- Only one curb cut per block will be allowed on areas of Primary Frontage, provided however, that there shall be no mid-block curb cuts for vehicular access on Main Street except for the single lane drive aisle between buildings “A” and “B” as shown on the Updated Illustrative Master Plan. All other access must occur via alleys off of Secondary Frontage, or support streets as identified in the Traffic and Access Plan (as defined in Section 12).
- Vehicular access points on areas of Secondary Frontage shall not occur more frequently than every 100’. Where applicable, no more than 20% of the lot frontage shall be dedicated to vehicular access.
- There are no access requirements for private streets and parking areas.



OPEN SPACE REQUIREMENTS

These open space requirements are intended to create functional civic amenities within Lane Parke in exchange for increased density:

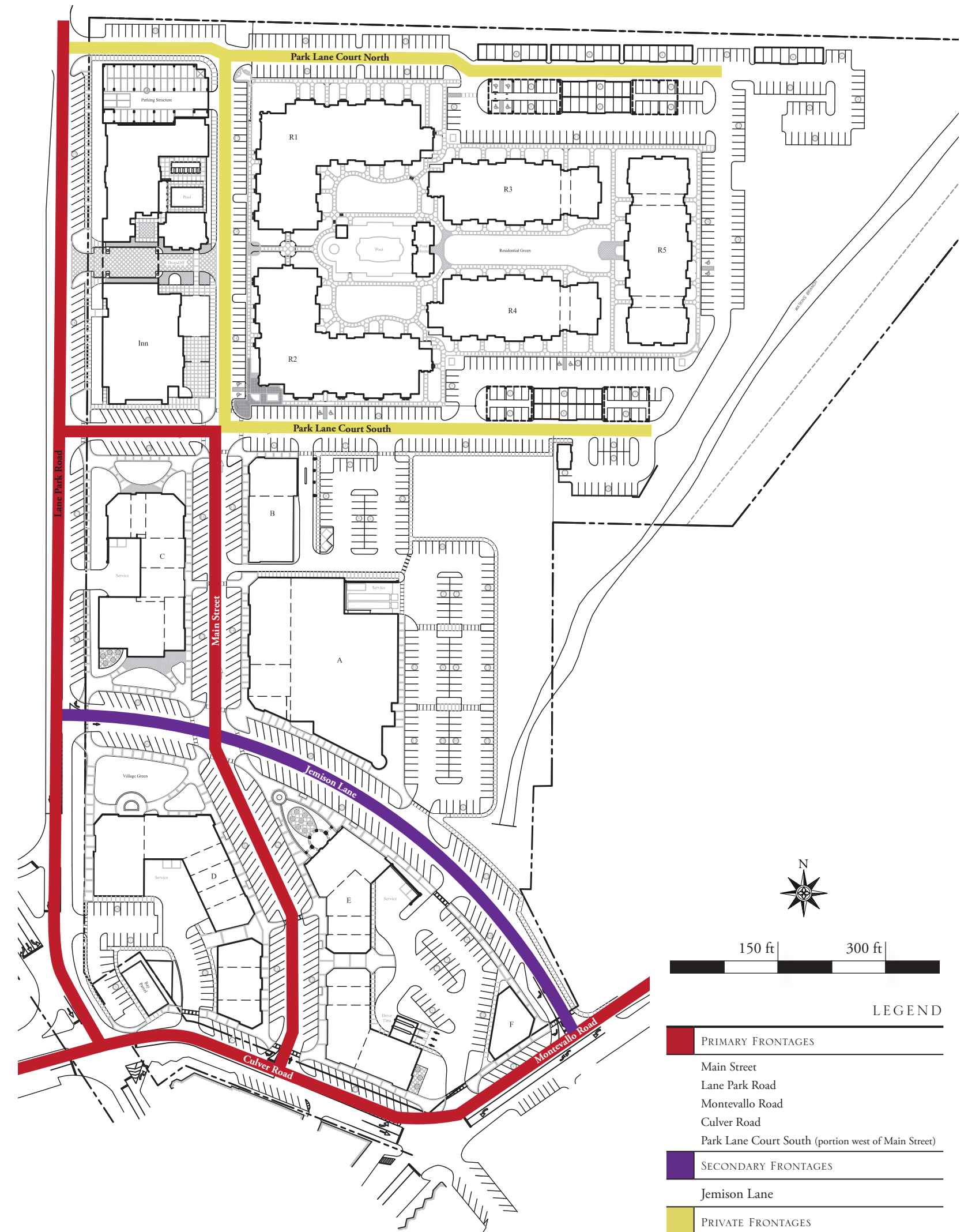
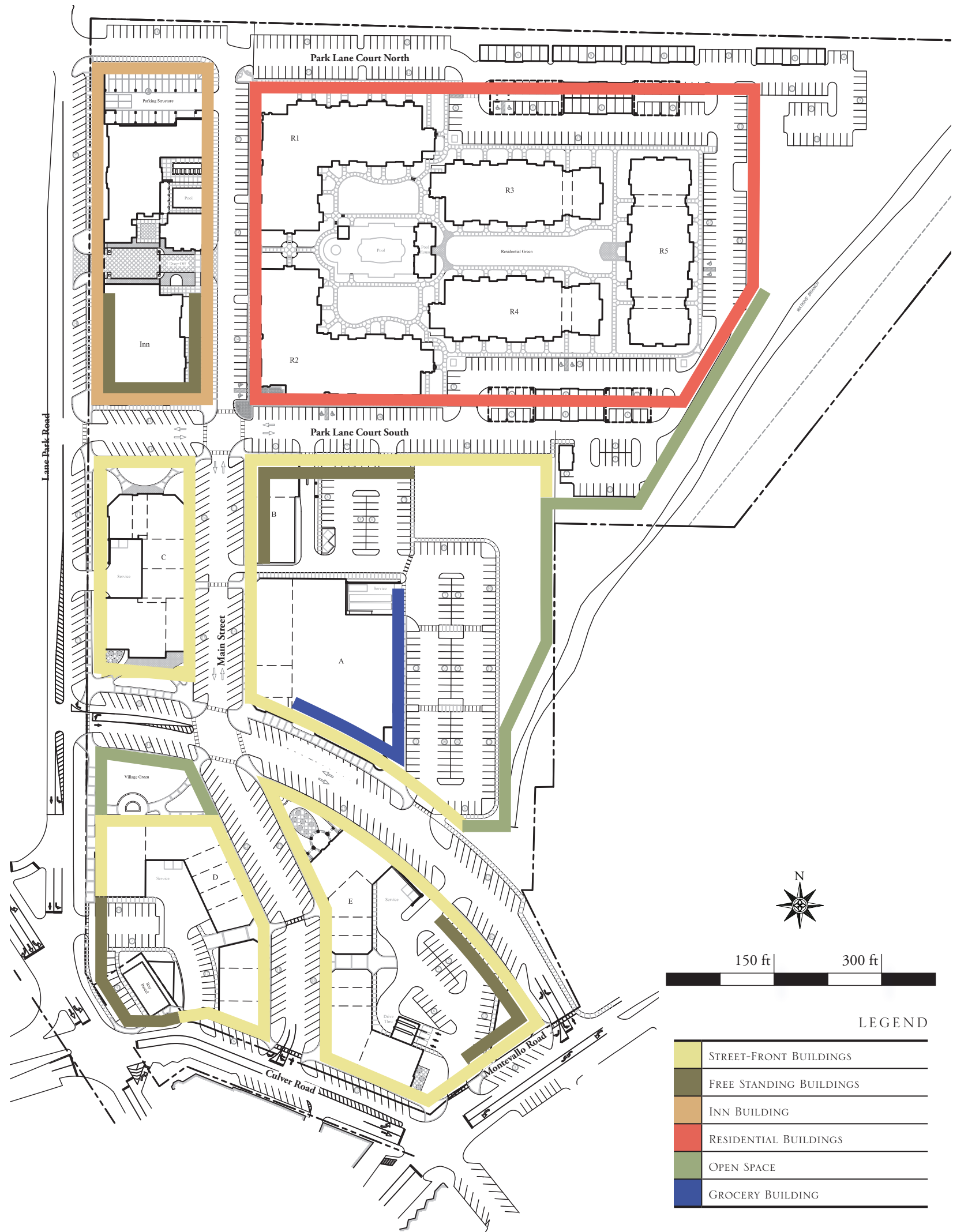
- Open space shall be in addition to any required setbacks and must occur in the otherwise allowable building footprint.
- Open space shall not include parking areas, service areas, or site utility areas.
- The open space requirements are as follows:
  - Ground level non-residential use: no requirement
  - Upper level non-residential use: 10% of upper level square footage
  - Residential uses: 100 square feet per dwelling unit
- Alternately, the open space requirement may be fulfilled by creating a public park or plaza equal to the square footage of the total required open space of Lane Parke instead of distributing the open space among the buildings and facades of individual commercial spaces.
- All open space for non-residential uses shall be directly accessible from the building frontage or a passage that breaks the facade, in one of the configurations illustrated below:



SERVICE AREA REQUIREMENTS

All service areas, loading areas and waste containers shall be either screened from view from any Primary Frontage or Secondary Frontage or wholly enclosed within the structure. Screening walls and materials shall be designed and constructed with materials compatible to that of the principal structure and, to the extent practical, landscape elements shall be incorporated to provide additional screening.









The pedestrian scale and unique character of the existing buildings and architecture in the Village are key to its continued viability. The Street-Front Building Typology provided in this Section has been developed to maintain this pedestrian scale and unique architecture while allowing for a vibrant and exciting shopping experience unique to the area. The Street-Front Building Typology for Lane Parke is based upon the Street-Front Building Type established by the Village Overlay Standards.

The following standards allow for differences in height, massing, scale and materials that are critical in creating the sense that Lane Parke is an extension of the existing Village that has evolved over time. Each store space or building's relationship to public streets, open spaces and surrounding architecture should be taken into consideration as material and massing decisions are made to ensure each elevation is sympathetic with the structures and spaces around it.

Street-Front Buildings are those with immediate frontage on streets. To remain consistent with the Village, this Building Typology is low-scale (1 to 2 1/2 stories) with engaging street-level storefronts. The massing, materials and overall design of a Street-Front Building is especially important at street level where a high level of pedestrian activity will take place.

The following pages detail height, massing and orientation standards that govern Street-Front Buildings to ensure a quality and character consistent with the existing structures in the Village. Street-Front Buildings shall meet the following building standards, which standards shall control over any conflicting provisions of the Village Overlay Standards or of the Local Business District Standards.

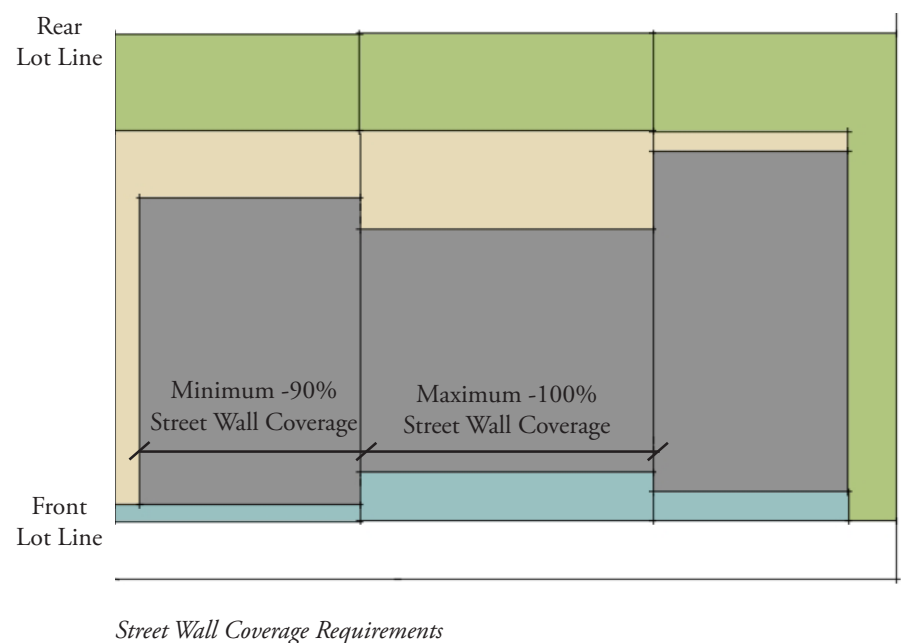
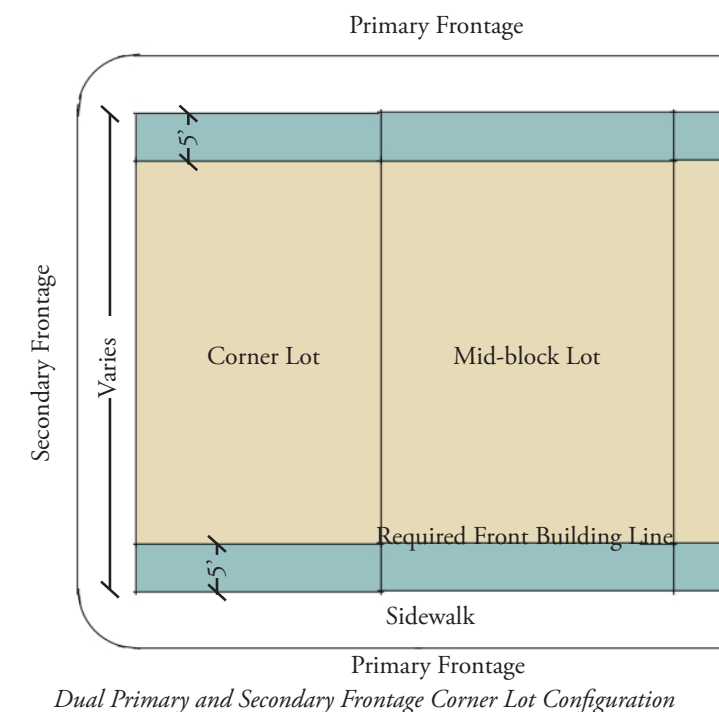
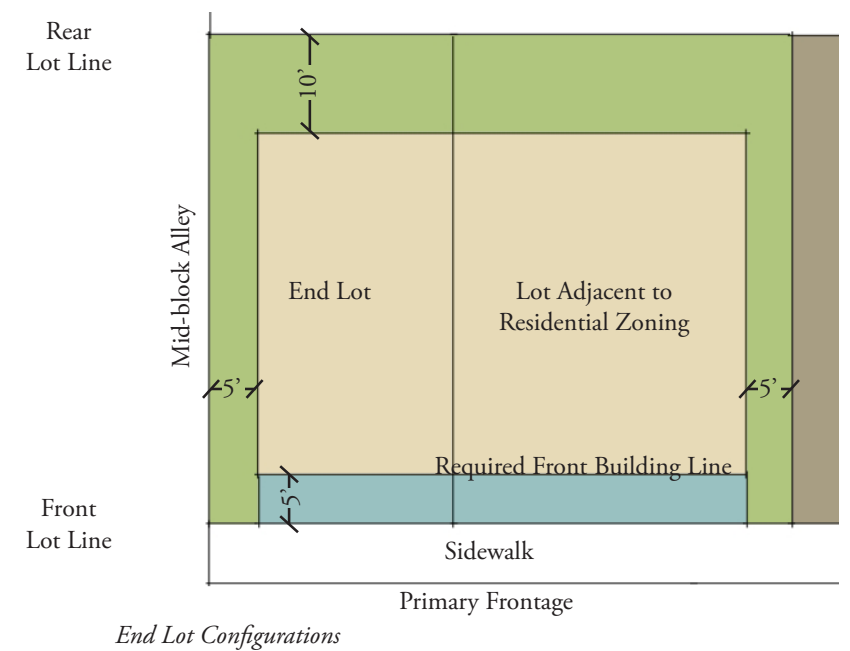
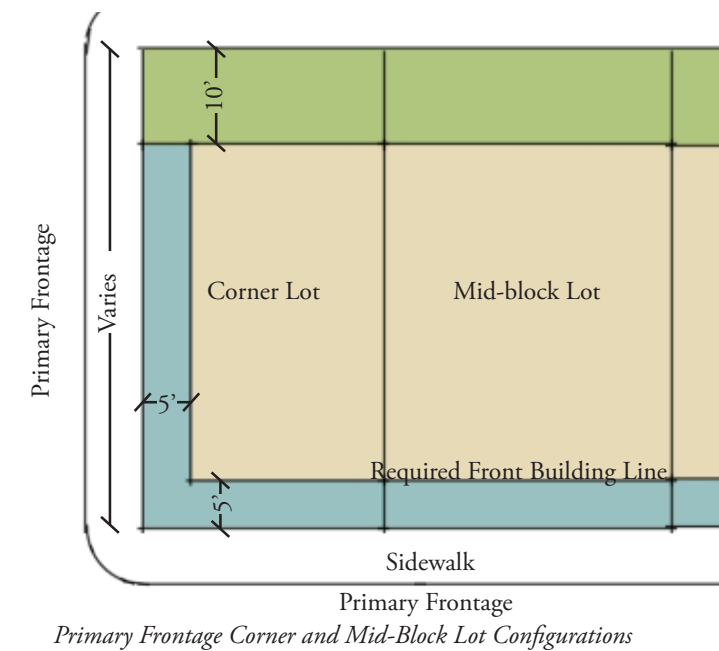


LOT LAYOUT NOTES:

LEGEND

	BUILD-TO ZONE
	SETBACK
	ALLOWABLE BUILDING FOOTPRINT
	RESIDENTIAL LOT
	BUILDING FOOTPRINT

- There is no minimum or maximum required lot depth.
- There is no minimum or maximum required lot width.
- The front facade of the building must occur in the Build-To-Zone; provided, however, that the Build-To-Zones on Parcel 4 that occur along Lane Park Road, Park Lane Court South, and Jemison Lane may be extended an additional 70 feet to accommodate functional open space or green space (to include open space utilized by tenants occupying the building) as shown in the Illustrative Master Plan.
- The front façade of any building or portions thereof situated along Jemison Lane and Main Street on the northwest corner of Parcel 10 may be set back from the intersection of Main Street and Jemison Lane so as to accommodate the open/green space shown on the Illustrative Master Plan and the required front building line for the building façade adjacent to that open/green space may be adjusted so as to accommodate same.
- Exceptions to the Street Wall Coverage requirements may be permitted to comply with the Open Space Requirements.
- Maximum lot coverage is 90% of the buildable lot area. Any open space required on the lot shall reduce the maximum lot coverage.
- All references to a lot or depictions of a lot line shall refer to a land condominium Unit or the boundary line of a land condominium Unit, or if no applicable land condominium Unit has been established, then to a Parcel or the boundary line of such Parcel.
- Lot references shall not refer to a condominium Unit other than a land condominium Unit.
- Exceptions for Building Line on Lane Park Road may be made for greenspace.
- Exceptions to the Street Wall Coverage requirements may be permitted to allow for pedestrian passages and service access.



NOTES

**Transparency:**

- On the facade fronting the primary street, hereafter called the “Primary Facade”, the first story shall have a transparency of 60% to 90% of the facade.
- On the Primary Facade, each upper story shall have a transparency of 15% to 60% of the facade.
- On facades other than the Primary Facade that are visible from a public right of way, both the first story and upper stories shall have a minimum transparency of 40%.
- Bay windows and balconies may extend up to 3’ over the front building line on upper stories, and shall extend a minimum of 3’ and a maximum of 5’ from the building facade. The use of loggias and arcades along the ground story of the building is encouraged as an amenity for pedestrians.
- A main entrance is required at a minimum of every 50’ on the Primary Facade. Buildings or store spaces of over 4,000 square feet shall have at least one entrance per facade that fronts onto a public street, but are excepted from the 50’ requirement.
- Corner buildings shall be considered to have two frontages, but may designate one frontage as the principal frontage that meets all of the standards of this section. The other frontage shall meet all of the standards of this section for at least the first 25 feet of building facade, and shall maintain the required front building line for at least the first 40’ of the side frontage.

**Pitched Roof Massing:**

- One story buildings with a pitched roof shall have a maximum cornice/eaves height of 18’.
- Two story buildings with a pitched roof shall have a maximum cornice/eaves height of 26’.
- Pitched roofs must not extend more than 10’ above the eaves if the roof pitch is 5:12 to 13:12.
- Pitched roofs must not extend more than 16’ above if the roof pitch is 14:12 to 20:12. Pitched roofs sloped greater than 20:12 will not be allowed.
- No building shall exceed 42’ in height.
- Pitched roof structures may contain additional floor area which may be occupied without counting towards the story maximum for purposes of the Regulating Plan, provided any additional floor area is associated with and accessory to the floor area of the inferior story. In this condition, the maximum cornice height may be exceeded by 3’, provided that a transparency of 15% to 45% is provided for the half-story through the use of dormers.

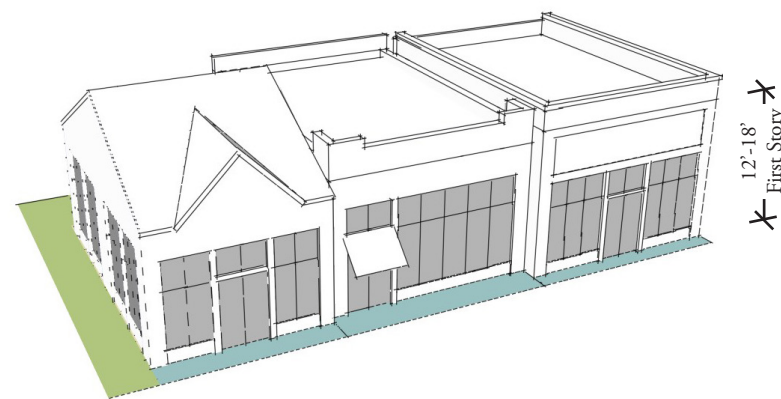
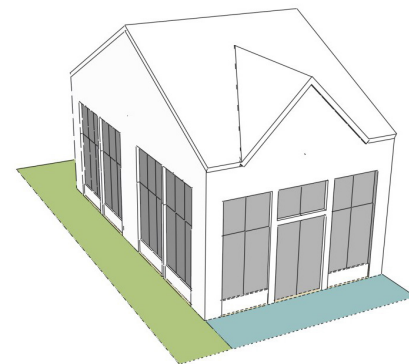
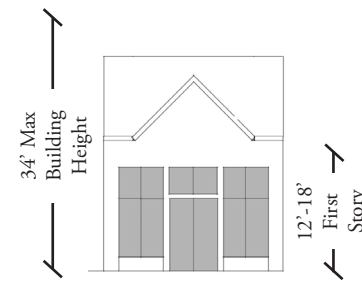
**Flat Roof Massing:**

- Parapets must extend a minimum of 3’ above the top of the roof structure. This minimum height is intended to ensure that all rooftop equipment is hidden from public view.
- Parapets must occur within the maximum building height.
- Buildings or store spaces with a flat roof and parapet are not required to have a cornice/eaves line distinct from the top of the parapet.
- All rooftop equipment shall fall within the permissible roof heights, be located away from slopes or areas exposed to the public street, and otherwise be screened from view from adjacent public streets or be incorporated into the skin of the building or internal to the block.

**Bay Rhythm:**

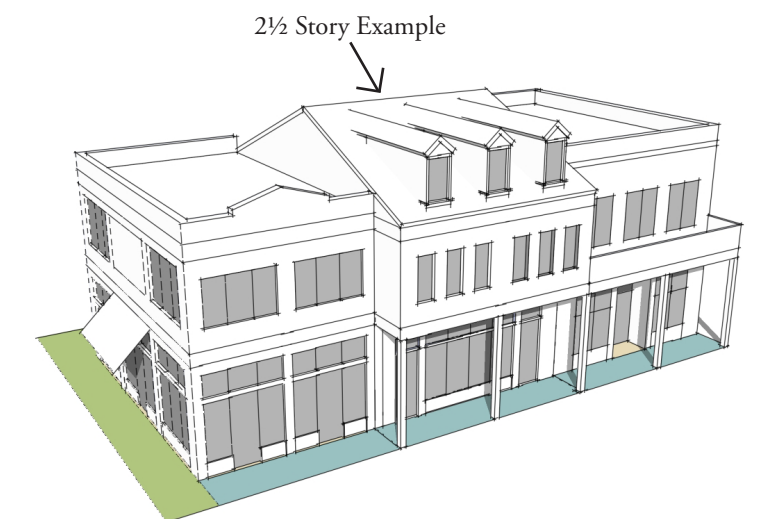
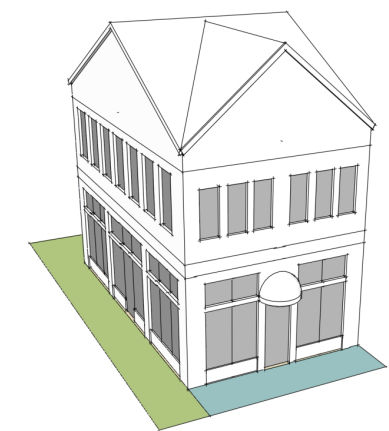
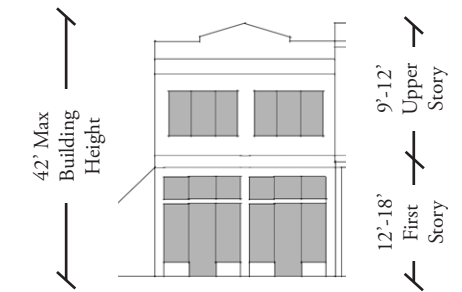
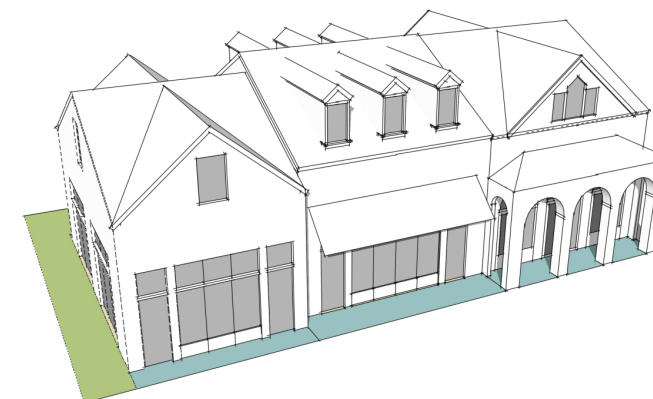
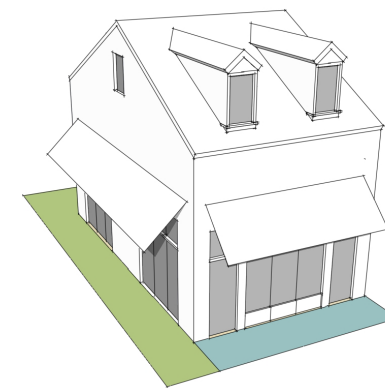
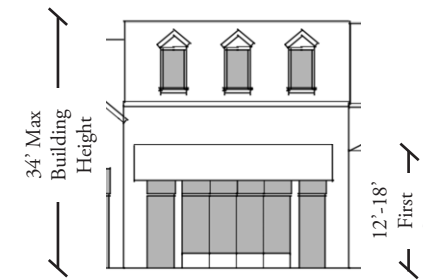
- Differentiated bays should be expressed on each facade of a building or store space directly fronting a public space or street.
- Bays shall be a minimum of 20’ and a maximum of 30’ wide on Primary Frontages. On any facade that is visible from a public right of way that is directly adjacent to an area of Primary Frontage, at least one bay shall be articulated on the corner adjacent to the Primary Facade. Where these facades are over 60’ in length, they must have architectural articulation, such as bays or pilasters, for at least 20% of the facade in addition to the first bay adjacent to the Primary Facade.

ONE STORY BUILDINGS



ONE-AND-A-HALF STORY BUILDINGS

TWO STORY BUILDINGS





The Free-Standing Building Typology for Lane Parke is based upon the Free-Standing Building Type established by the Village Overlay Standards. The Free-Standing Building Typology allows for differences in height, orientation, massing, scale and materials that are critical in creating the sense that Lane Parke is an extension of the existing Village that has evolved over time. Each building's relationship to the street, surrounding buildings and parks is especially important for the Free-Standing Building Typology since these buildings will be engaged with one or more public spaces on all sides.

The Free-Standing Building Typology is low-scale (1 to 2 1/2) stories with elegant street-fronts and pedestrian friendly designs.

The following pages detail height, massing and orientation standards that govern Free-Standing Buildings to ensure a quality and character consistent with the existing structures in the Village. Free-Standing Buildings shall meet the following building standards, which standards shall control over any conflicting provisions of the Village Overlay Standards or of the Local Business District Standards.

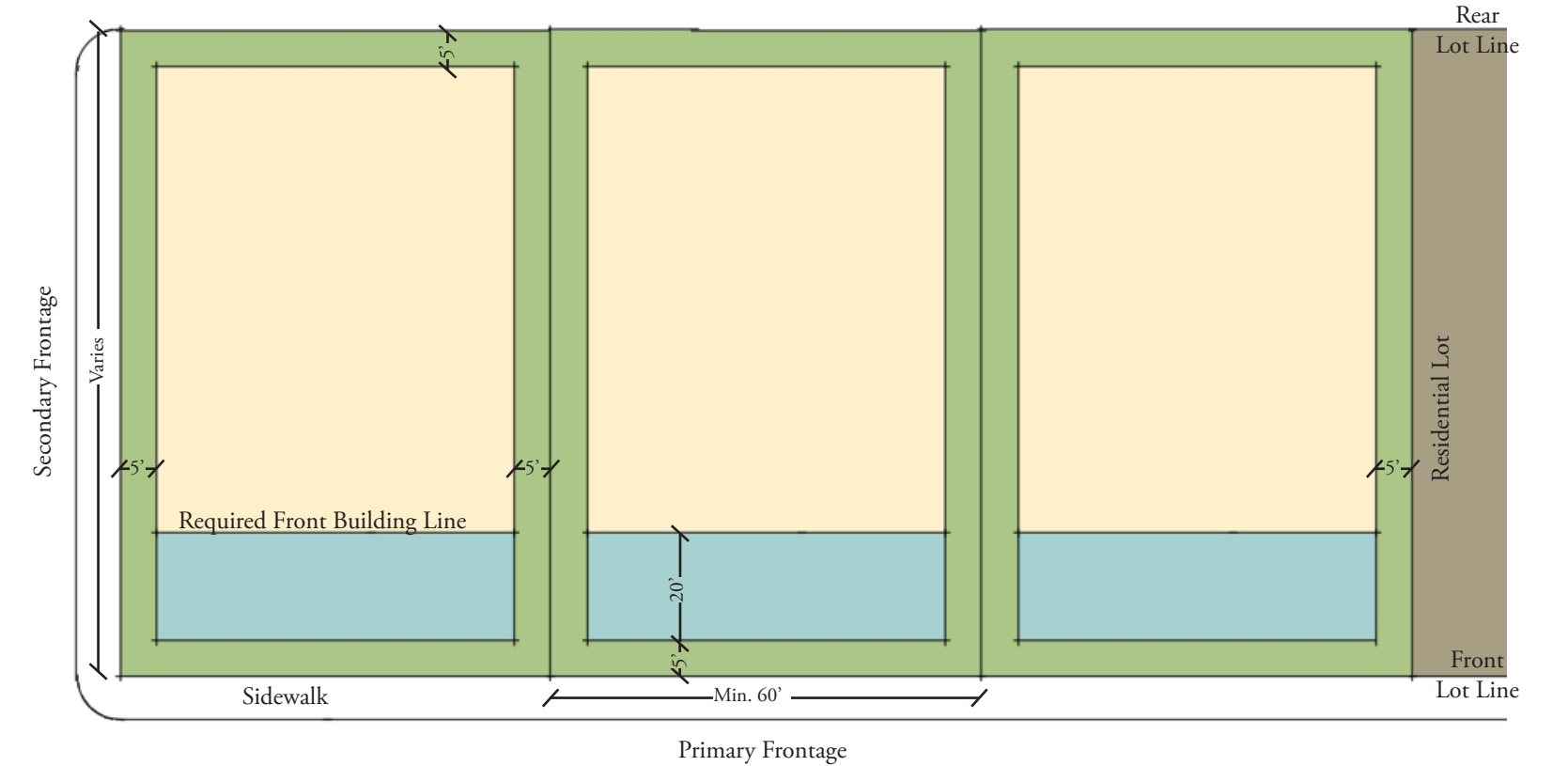


LOT LAYOUT NOTES:

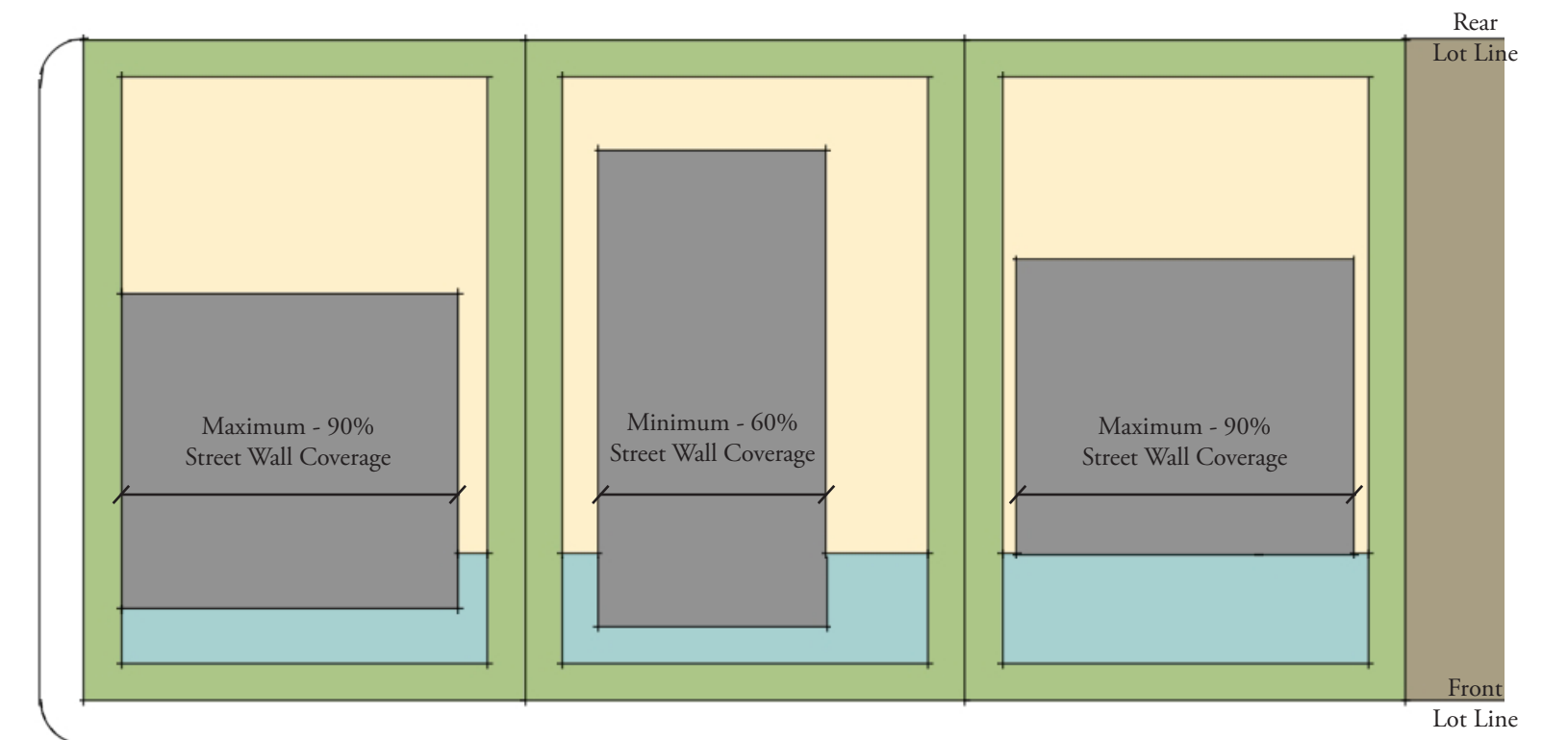
- There is no minimum or maximum required lot depth.
- There is no minimum or maximum required lot width.
- The front facade of the building must occur in the Build-To Zone.
- Maximum lot coverage is 60% of the buildable lot area. Any open space required on the lot shall reduce the maximum lot coverage. Pedestrian and vehicular access drives shall not count against the lot coverage.
- Exceptions to the Street Wall Coverage requirements may be permitted to comply with the Open Space Requirements.
- All references to a lot or depictions of a lot line shall refer to a land condominium Unit or the boundary line of a land condominium Unit, or if no applicable land condominium Unit has been established, then to a Parcel or the boundary line of such Parcel.
- Lot references shall not refer to a condominium Unit other than a land condominium Unit.

LEGEND

	BUILD-TO ZONE
	SETBACK
	ALLOWABLE BUILDING FOOTPRINT
	RESIDENTIAL LOT
	BUILDING FOOTPRINT



Corner, Mid-Block, and End Lot Conditions



Street Wall Coverage Requirements



NOTES

**Transparency:**

- On the facade fronting the primary street, hereafter called the “Primary Facade”, the first story shall have a transparency of 60% to 90% of the facade.
- On the Primary Facade, each upper story shall have a transparency of 15% to 60% of the facade.
- On facades other than the Primary Facade that are visible from a public right of way, both the first story and upper stories shall have a minimum transparency of 40%.
- Bay windows and balconies may extend up to 3’ over the front building line on upper stories, and shall extend a minimum of 3’ and a maximum of 5’ from the building facade. The use of loggias and arcades along the ground story of the building is encouraged as an amenity for pedestrians.
- A main entrance is required at a minimum of every 50’ on the Primary Facade. Buildings or store spaces of over 4,000 square feet shall have at least one entrance per facade that fronts onto a public street, but are excepted from the 50’ requirement.
- Corner buildings shall be considered to have two frontages, but may designate one frontage as the principal frontage that meets all of the standards of this section. The other frontage shall meet all of the standards of this section for at least the first 25 feet of building facade, and shall maintain the required front building line for at least the first 40’ of the side frontage.

**Pitched Roof Massing:**

- One story buildings with a pitched roof shall have a maximum cornice/eaves height of 18’.
- Two story buildings with a pitched roof shall have a maximum cornice/eaves height of 26’.
- Pitched roofs must not extend more than 10’ above the eaves if the roof pitch is 5:12 to 13:12.
- Pitched roofs must not extend more than 16’ above if the roof pitch is 14:12 to 20:12. Pitched roofs sloped greater than 20:12 will not be allowed.
- No building shall exceed 42’ in height.
- Pitched roof structures may contain additional floor area which may be occupied without counting towards the story maximum for purposes of the Regulating Plan, provided any additional floor area is associated with and accessory to the floor area of the inferior story. In this condition, the maximum cornice height may be exceeded by 3’, provided that a transparency of 15% to 45% is provided for the half-story through the use of dormers.

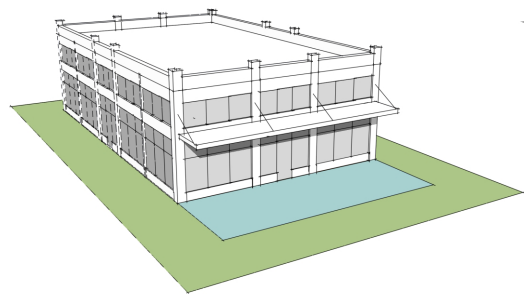
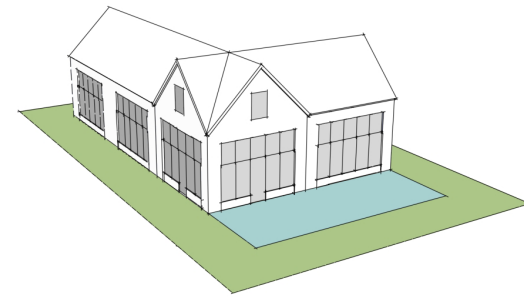
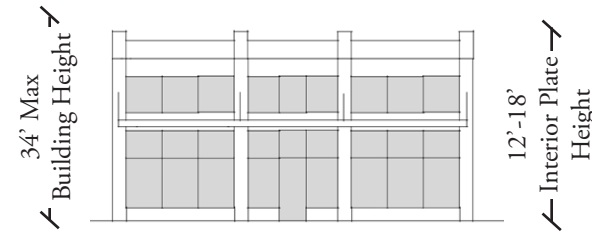
**Flat Roof Massing:**

- Parapets must extend a minimum of 3’ above the top of the roof structure.
- Parapets must occur within the maximum building height.
- Buildings or store spaces with a flat roof and parapet are not required to have a cornice/eaves line distinct from the top of the parapet.
- All rooftop equipment shall fall within the permissible roof heights, be located away from slopes or areas exposed to the public street, and otherwise be screened from view from adjacent public streets or be incorporated into the skin of the building or internal to the block.

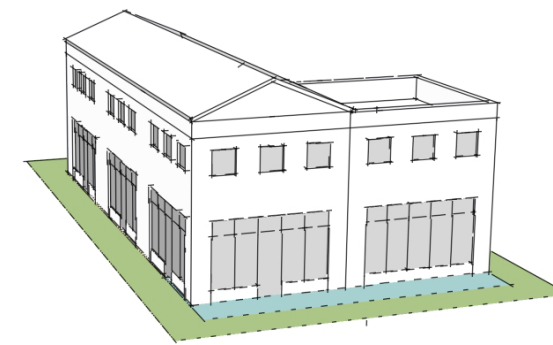
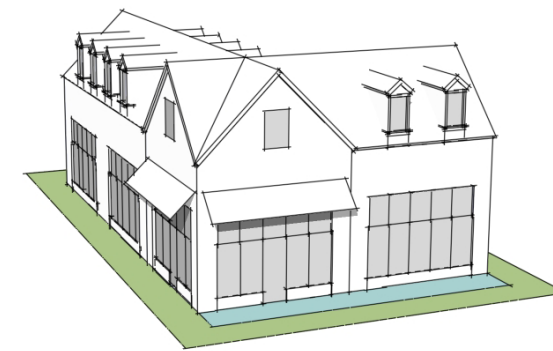
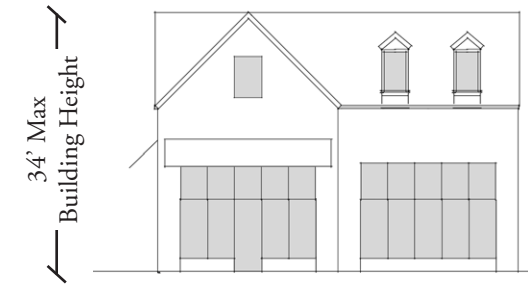
**Bay Rhythm:**

- Differentiated bays should be expressed on each facade of a building or store space directly fronting a public space or street.
- Bays shall be a minimum of 25’ and a maximum of 50’ wide on Primary Frontages. On any facade that is visible from a public right of way that is directly adjacent to an area of Primary Frontage, at least one bay shall be articulated on the corner adjacent to the Primary Facade. Where these facades are over 60’ in length, they must have architectural articulation, such as bays or pilasters, for at least 20% of the facade in addition to the first bay adjacent to the Primary Facade.

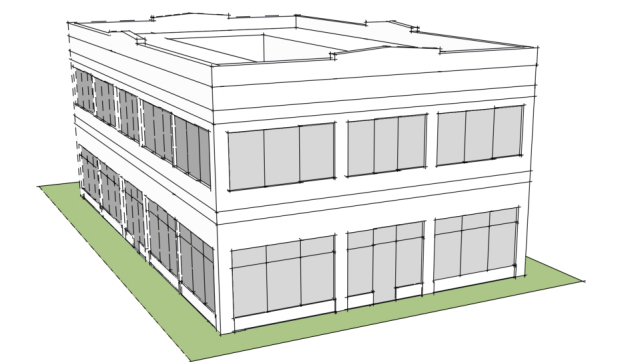
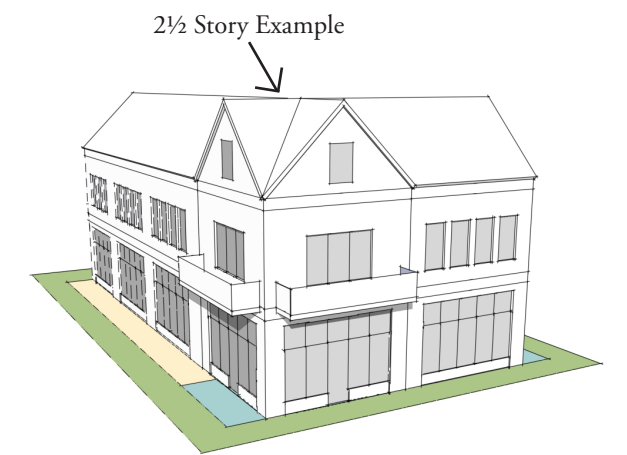
ONE STORY BUILDINGS



ONE-AND-A-HALF STORY BUILDINGS



TWO STORY BUILDINGS





The Residential Building Typology will allow for a unique lifestyle environment where residents can live and walk to the shops, restaurants, and office space of the Lane Parke and the Village. Buildings constructed in accordance with this Typology should be pedestrian in scale and in keeping with the character of Lane Parke.

The Residential Building Typology is mid-scale (2 to 4 stories). Each building's relationship to public streets, open spaces, and surrounding buildings should be taken into consideration as material and massing decisions are made to ensure each elevation is sympathetic with the structures and spaces around it. Design professionals should work to minimize the impact of the building's height on the character of the surrounding areas utilizing techniques including but not limited to:

- Stepping down the facade at primary street frontages
- Providing additional set backs from the street

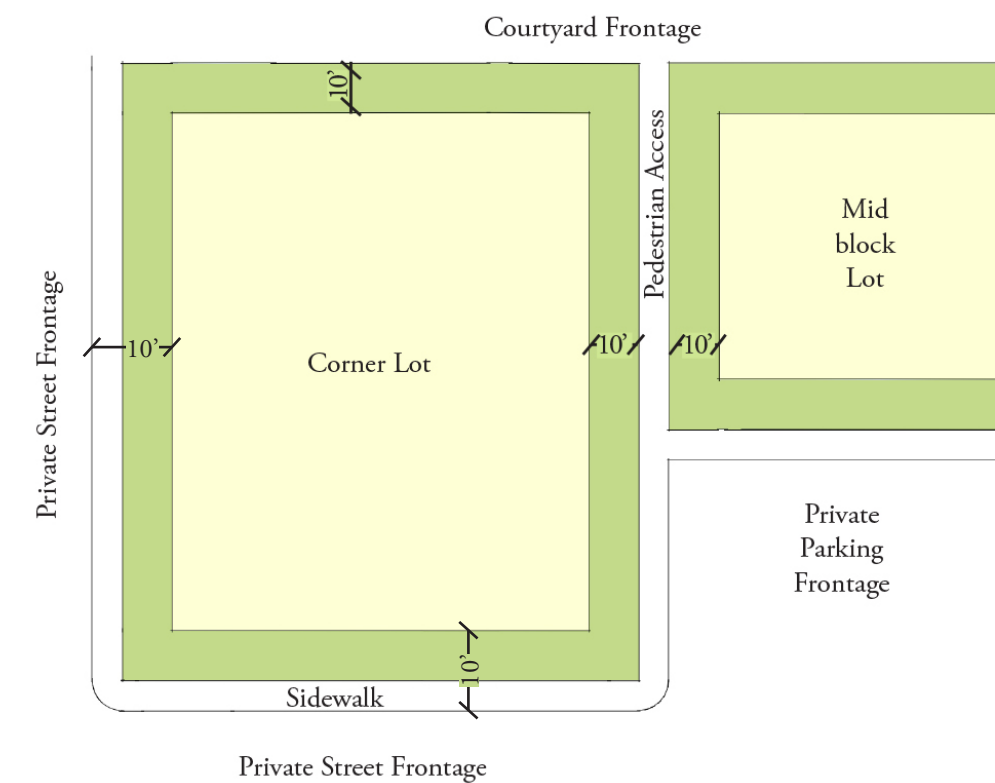
The following pages detail lot, height and massing standards that govern Residential Buildings to ensure they remain in character with the existing Village. Residential Buildings shall meet the following building standards, which standards shall control over any conflicting provisions of the Village Overlay Standards or of the Residence G Standards.



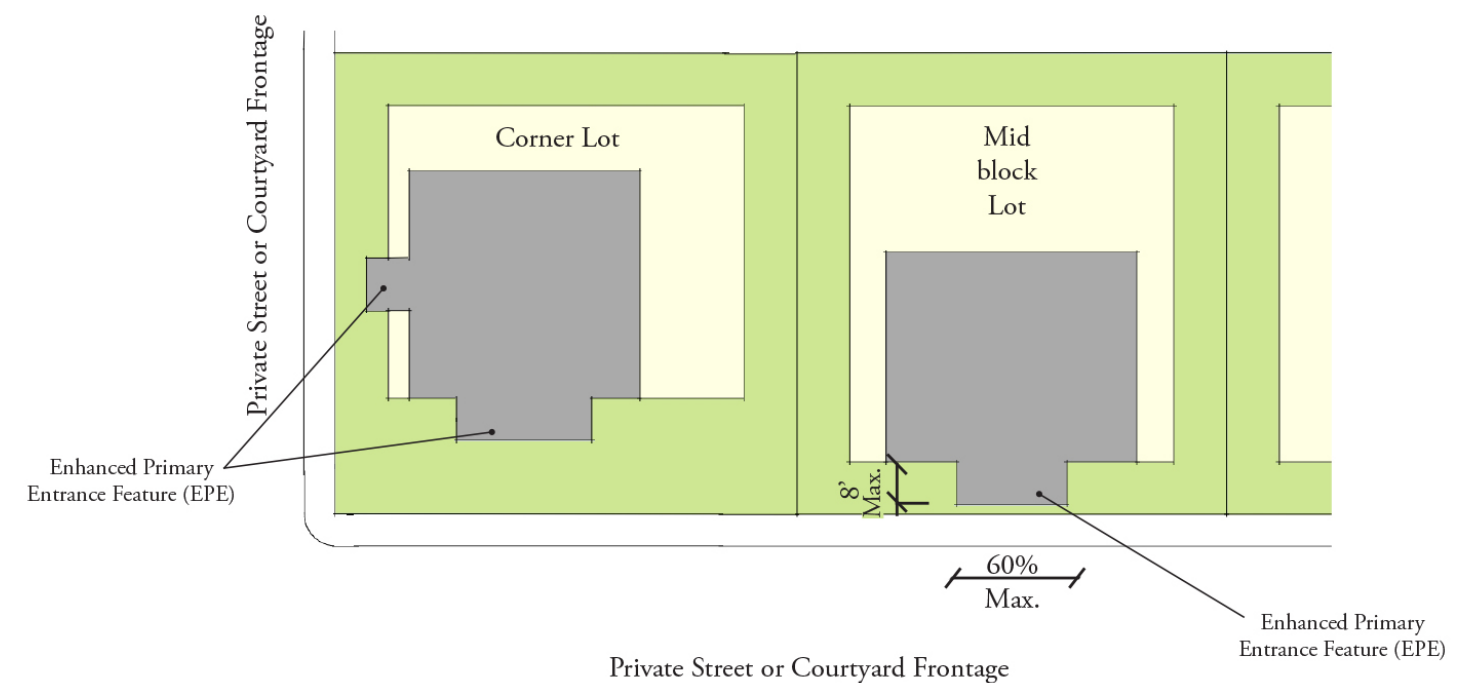
	SETBACK
	ALLOWABLE BUILDING FOOTPRINT
	BUILDING FOOTPRINT

**LOT LAYOUT NOTES:**

- There is no minimum or maximum required lot depth.
- There is no minimum or maximum required lot width.
- Maximum lot coverage is 60% of the buildable area. Any open space required on the lot shall reduce the maximum lot coverage.
- Side setbacks between buildings is 10% of the lot width or 10', whichever is less, provided building code separation requirements are met with additional easements.
- An Enhanced Primary Entrance feature may extend up to 8' beyond the constructed front building line of the building provided: (a) It occupies no more than 60% of the front façade on each lot, (b) it remains unenclosed, with no fixed windows or screen, (c) any roof structure on or associated with the feature is up to one and one-half stories; and, (d) it is designed as an extension of the primary building using the same foundation, building materials, architectural styles and ornamentation as the primary building.
- All references to a lot or depictions of a lot line shall refer to a land condominium Unit or the boundary line of a land condominium Unit, or if no applicable land condominium Unit has been established, then to a Parcel or the boundary line of such Parcel.
- Lot references shall not refer to a condominium Unit other than a land condominium Unit.



*Private Street Frontage Lot Configuration*

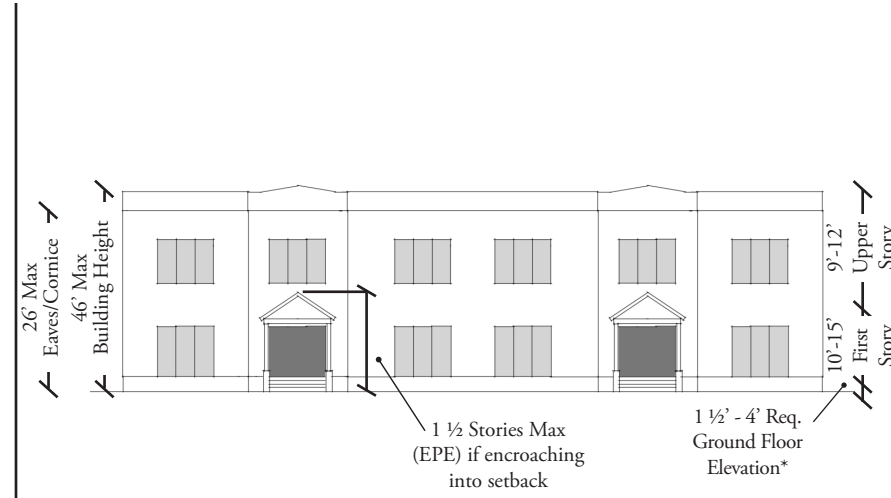


NOTES

**Transparency:**

- On the face fronting the primary street, hereafter called the "Primary Facade", the first story shall have a transparency of 15% to 40% of the facade.
- On the Primary Facade, each upper story shall have a transparency of 15% to 40% of the facade.
- Bay windows and balconies may extend up to 5' over the front building line on upper stories, and shall extend a minimum of 3' and a maximum of 5' from the building facade.
- Each building shall have at least one Enhanced Primary Entrance (EPE).

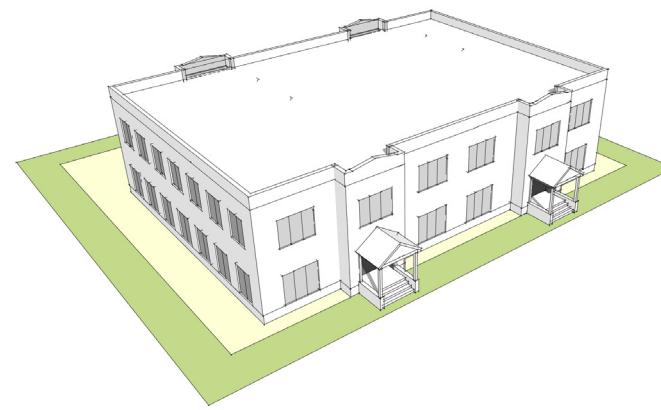
2 STORY BUILDINGS



\* For buildings fronting on Park Lane Court South and/or Main Street, ("Leasing" office in residential component excluded).

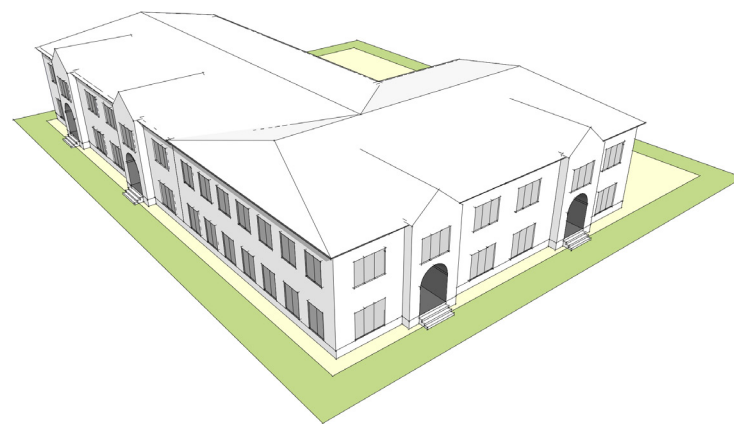
**Pitched Roof Massing:**

- For buildings fronting on Park Lane Court South and/or Main Street, ground floor elevation is required to be 1.5' to 4' above grade at front building line. ("Leasing" office in residential component excluded).
- Two story buildings with a pitched roof shall have a maximum cornice/eaves height of 26'. Three story buildings shall have a maximum cornice/eaves height of 36'. Four story buildings shall have a maximum cornice/eaves height of 46' with a maximum building height of 66'.
- Acceptable roof pitch range is 5:12 to 14:12.
- Pitched roofs must not extend more than 20' above the eaves.
- Pitched roof structures may contain additional floor area which may be occupied without counting towards the story maximum for purposes of the Regulating Plan, provided any additional floor area is associated with and accessory to the floor area of the inferior story. In this condition, the maximum cornice height may be exceeded by 3', provided that a transparency of 15% to 45% is provided for the half-story through the use of dormers.



**Flat Roof Massing:**

- Parapets must extend a minimum of 3' above the top of the roof structure if utilized.
- Parapets must occur within the maximum building height.
- Buildings or residential spaces with a flat roof and parapet are not required to have a cornice/eaves line distinct from the top of the parapet.
- All rooftop equipment shall fall within the permissible roof heights, be located away from slopes or areas exposed to the public street, and otherwise be screened from view from adjacent public streets or be incorporated into the skim of the building or internal to the block.



**Bay Rhythm:**

- Differentiated bays should be expressed on each face of a building or residential space directly fronting a public space or street.
- Bays shall be a minimum of 25' and a maximum of 50' wide on Primary Frontages. On any facade that is visible from a public right of way that is directly adjacent to an area of Primary Frontage, at least one bay shall be articulated on the corner adjacent to the Primary Facade. Where these facades are over 60' in length, they must have architectural articulation, such as bays or pilasters, for at least 20% of the facade in addition to the first bay adjacent to the Primary Facade.



3 STORY BUILDINGS

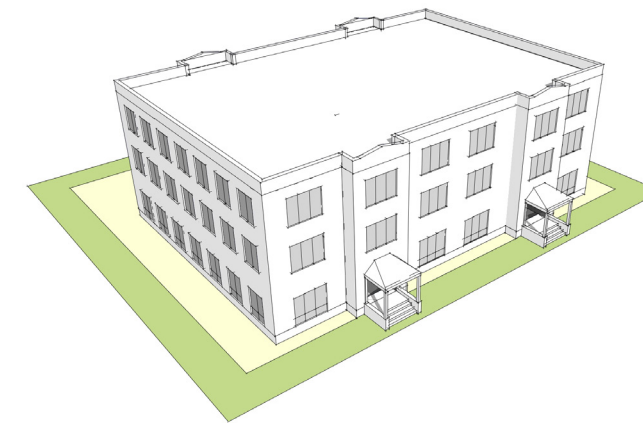


\* For buildings fronting on Park Lane Court South and/or Main Street, ("Leasing" office in residential component excluded).

4 STORY BUILDINGS



\* For buildings fronting on Park Lane Court South and/or Main Street, ("Leasing" office in residential component excluded).





The Inn Building Typology is designed to retain the pedestrian scale, elegant design and overall character of the Village.

The Inn Building is mid-scale (up to 4 stories). An Inn Building should be designed to ensure that the massing, scale and character of the building is sympathetic to and does not overwhelm the pedestrian experience or other structures in the Village and along Lane Park Road.

The following standards permit differences in height, orientation, mass, scale and design essential to creating a sense that Lane Parke evolved over time and grew out of the existing Village. Design professionals should work to minimize the impact of the building's height on the character of the surrounding areas utilizing techniques including but not limited to:

- Stepping down the facade at primary street frontages
- Providing additional set back from the street

The following pages detail height, massing and orientation standards that govern Inn Buildings to ensure any such structure will remain in character with the existing Village. An Inn Building shall meet the following building standards, which standards shall control over any conflicting provisions of the Village Overlay Standards or of the Local Business District Standards.

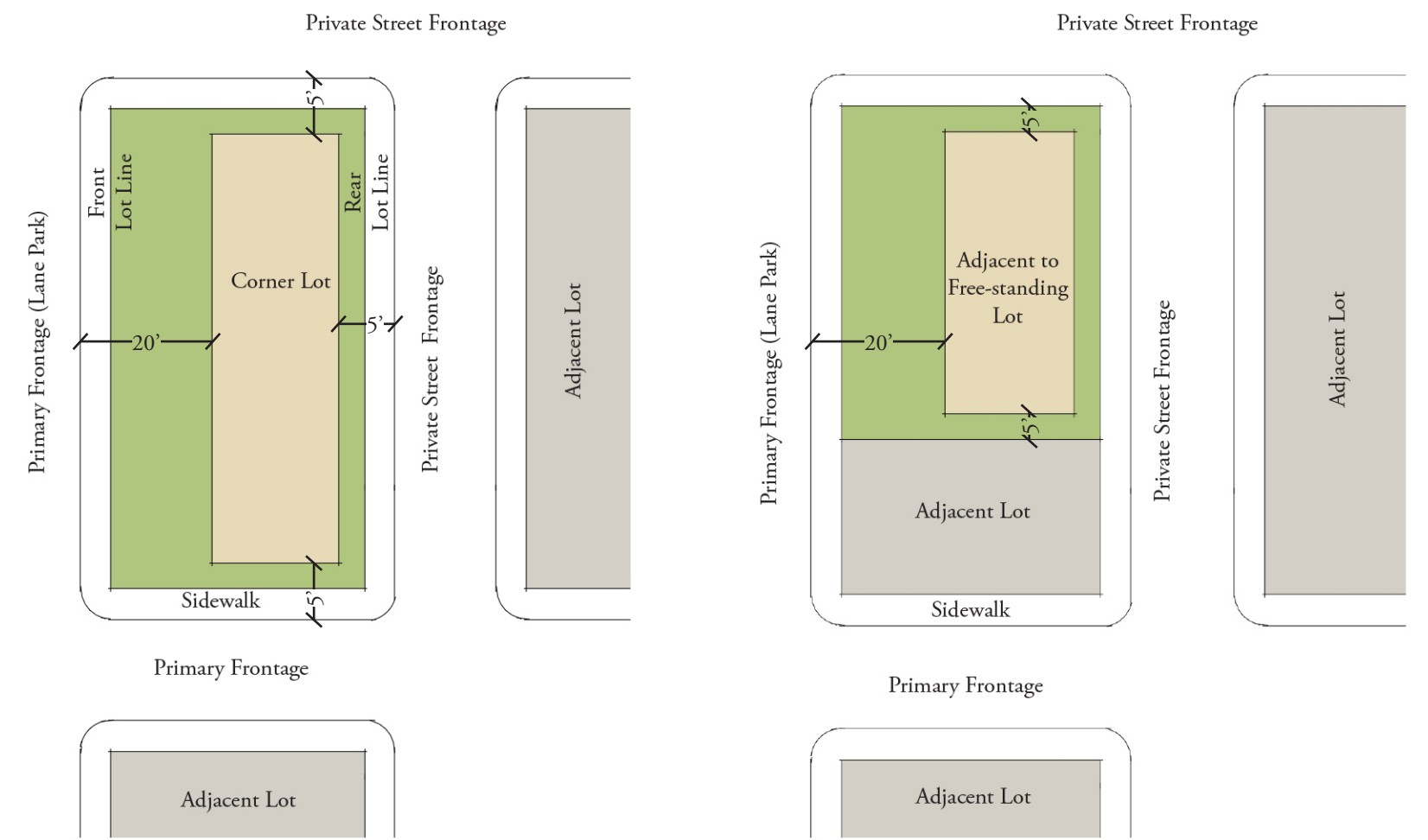


LOT LAYOUT NOTES:

- There is no minimum or maximum required lot depth.
- There is no minimum or maximum required lot width.
- Maximum lot coverage is 90% of the buildable lot area. Any open space required on the lot shall reduce the maximum lot coverage. Pedestrian and vehicular access drives shall not count against the lot coverage.
- All references to a lot or depictions of a lot line shall refer to a land condominium Unit or the boundary line of a land condominium Unit, or if no applicable land condominium Unit has been established, then to a Parcel or the boundary line of such Parcel.
- Lot references shall not refer to a condominium Unit other than a land condominium Unit.
- If convenient onsite parking is desired, a discrete two-level parking structure will be allowed, provided that the parking surface for the first level must be below the surrounding grade.
- The parking structure shall be set back as described below and shall be screened with a landscape buffer which meets or exceeds the provisions of Section 129-296 of the Mountain Brook City Code.
- The parking structure massing and façade shall be integrated into the primary Inn Building facade.

LEGEND

	SETBACK
	ALLOWABLE BUILDING FOOTPRINT
	ADJACENT LOT



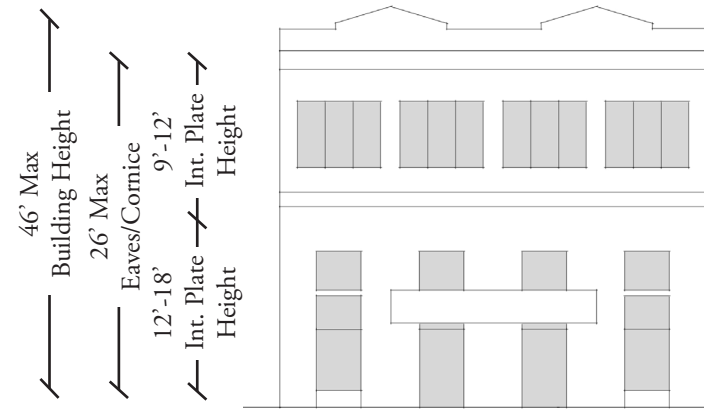
Primary Frontage Lot Configurations

Primary Frontage Lot Configurations with Adjacent lot



NOTES

TWO STORY BUILDINGS

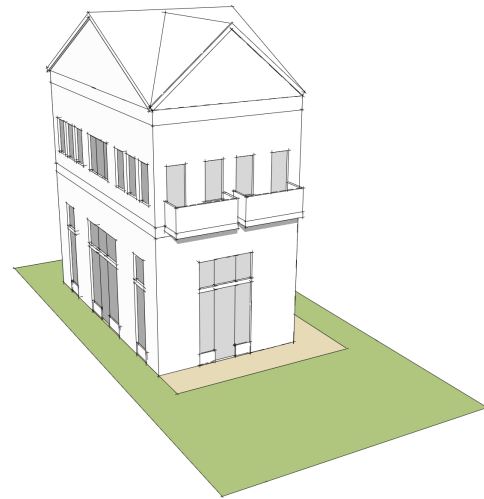


**Transparency:**

- On the face fronting the primary street, hereafter called the “Primary Facade”, the first story shall have a transparency of 15% to 40% of the facade.
- On the Primary Facade, each upper story shall have a transparency of 15% to 40% of the facade.
- Bay windows and balconies may extend up to 5’ over the front building line on upper stories, and shall extend a minimum of 3’ and a maximum of 6’ from the building facade.

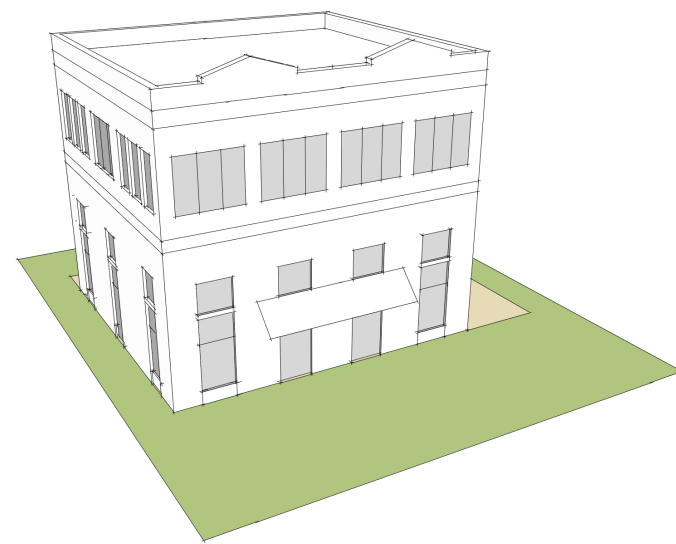
**Pitched Roof Massing:**

- Two story buildings with a pitched roof shall have a maximum cornice/eaves height of 26’ with a maximum building height of 46’. Three story buildings shall have a maximum cornice/eaves height of 36’ with a maximum building height of 56’.
- No building shall exceed 4 stories (maximum eaves height of 46’ in height; max. building height of 66’) Towers and other appropriate architectural features that extend above the roof must fall within this maximum height. No parapet shall exceed 6’ in height from the highest interior plate height.
- Pitched roofs must not extend more than 12’ above the eaves if the roof pitch is 5:12 to 13:12.
- Pitched roofs must not extend more than 20’ above if the roof pitch is 14:12 to 20:12. Pitched roofs sloped greater than 20:12 will not be allowed. Any steeply pitched roof that exceeds 16’ in height shall utilize dormers, gables, or other forms to break up the roof mass.
- Pitched roof structures may contain additional floor area which may be occupied without counting towards the story maximum for purposes of the Regulating Plan, provided any additional floor area is associated with and accessory to the floor area of the inferior story. In this condition, the maximum cornice height may be exceeded by 3’, provided that a transparency of 15% to 45% is provided for the half-story through the use of dormers.
- Flat roof structures may contain additional floor area built into or behind the parapet wall. In this condition, the parapet height may be increased to the maximum building height to screen the occupied space provided the increased parapet occupies less than 45% of the length of the building facade.



**Flat Roof Massing:**

- Parapets must extend a minimum of 3’ above the top of the roof structure.
- Parapets must occur within the maximum building height.
- Buildings or store and inn spaces with a flat roof and parapet are not required to have a cornice/eaves line distinct from the top of the parapet.
- All rooftop equipment shall fall within the permissible roof heights, be located away from slopes or areas exposed to the public street, and otherwise be screened from view from adjacent public streets or be incorporated into the skin of the building or internal to the block.



**Bay Rhythm:**

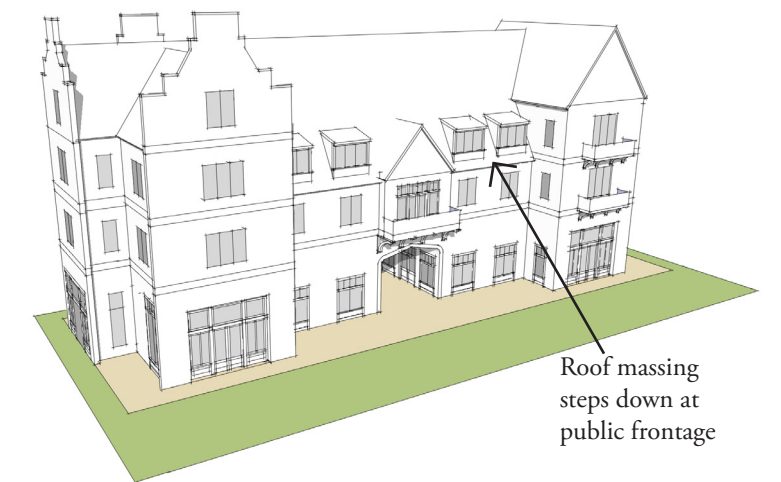
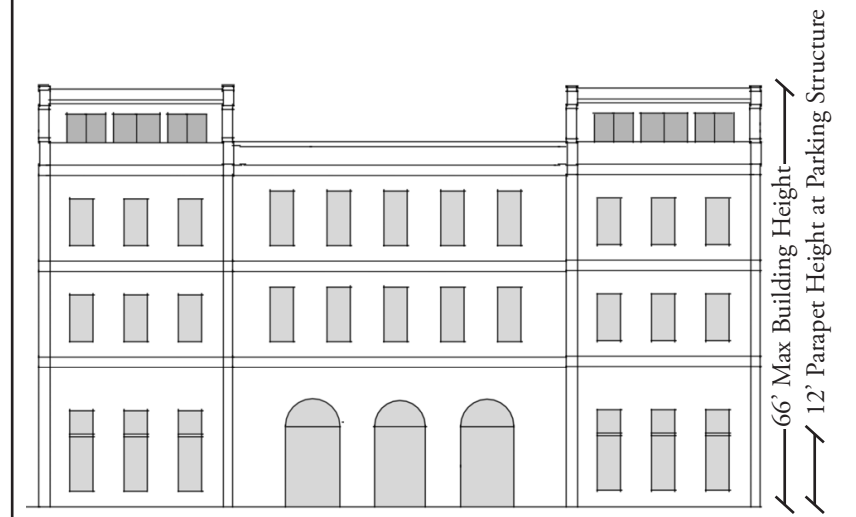
- Differentiated bays should be expressed on each facade of a building or store and inn space directly fronting a public space or street.
- Bays shall be a minimum of 20’ and a maximum of 30’ wide on Primary Frontages. On any facade that is visible from a public right of way that is directly adjacent to an area of Primary Frontage, at least one bay shall be articulated on the corner adjacent to the Primary Facade. Where these facades are over 60’ in length, they must have architectural articulation, such as bays or pilasters, for at least 20% of the facade in addition to the first bay adjacent to the Primary Facade.



THREE STORY BUILDINGS



FOUR STORY BUILDINGS







The Parking Structure Typology is necessary to support the parking requirements of the proposed uses in Lane Parke. However, the Parking Structures must be designed in a manner that does not compromise the pedestrian scale and character of the Village. By concealing the Parking Structure and concentrating parking areas, the Parking Structure Typology helps encourage pedestrian activity and frees up more space for parks and public areas. The Parking Structure Typology is new to the Village.

The Parking Structure Typology is designed to accommodate functional parking spaces behind or above other structures. The Parking Structure Typology should occur on the interior of blocks and be masked from view by the other Building Typologies or design features so as to provide interest and variation along the street. Like the other typologies, this building type is mid-scale (1 to 3 stories) to retain the character of the Village. The parking areas must not be directly visible from any Primary Frontages. Any views from Secondary Frontages need to be well screened and architecturally articulated. Entries to such parking structures that are visible from any public right of way must meet the requirements of the Parking Structure Typology or of the other applicable Building Typologies as set forth in the regulating plan.

The next pages detail height, massing and orientation standards that govern the Parking Structure to ensure they remain in character with the existing Village. The Parking Structure shall meet the following building standards, which standards shall control over any conflicting provisions of the Village Overlay Standards or of the Local Business District Standards.

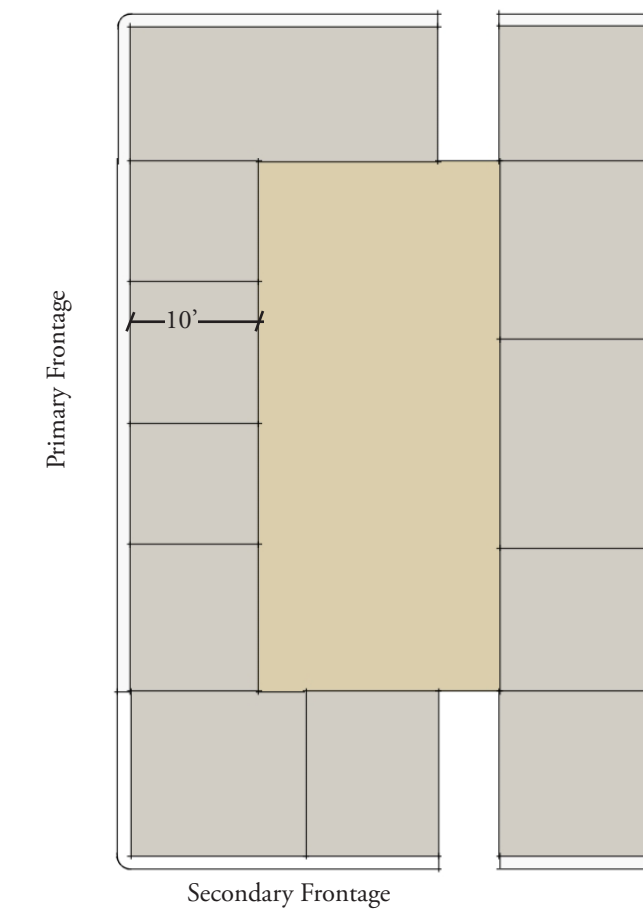


Lot Layout Notes:

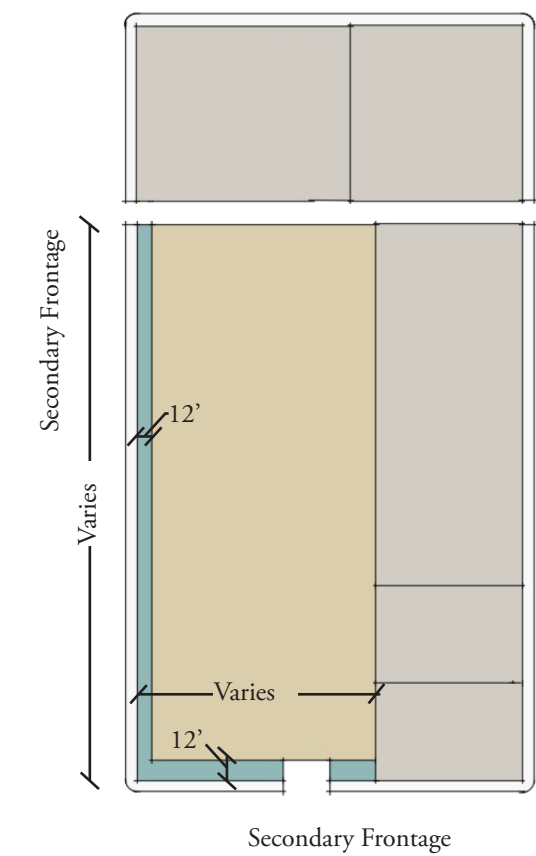
- There is no minimum or maximum required lot depth.
- There is no minimum or maximum required lot width.
- The front facade of the building must occur in the Build-To Zone.
- Exceptions to the Street Wall Coverage requirements may be permitted to comply with the Open Space Requirements.
- All references to a lot or depictions of a lot line shall refer to a land condominium Unit or the boundary line of a land condominium Unit, or if no applicable land condominium Unit has been established, then to a Parcel or the boundary line of such Parcel.
- Lot references shall not refer to a condominium Unit other than a land condominium Unit.

LEGEND

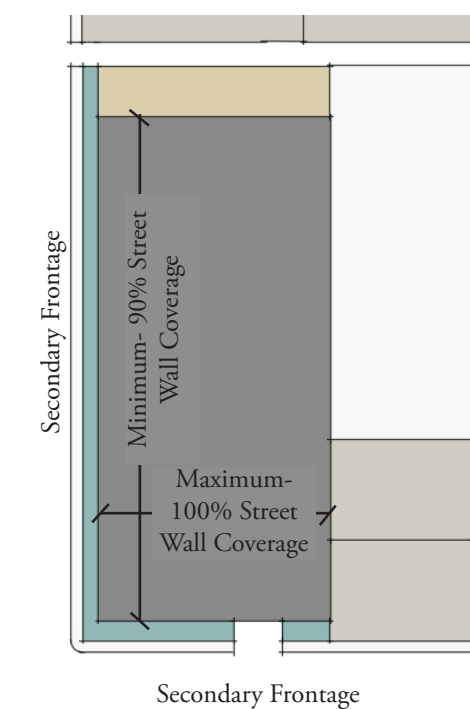
	BUILD-TO ZONE
	ADJACENT LOTS
	BUILDING FOOTPRINT
	ALLOWABLE BUILDING FOOTPRINT



Mid-block Lot Configuration



Corner Lot Configuration



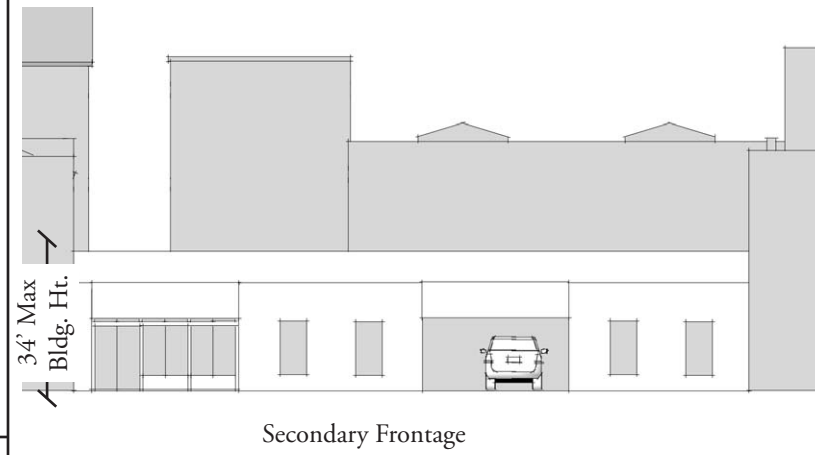
Street Wall Coverage Requirements



ONE STORY BUILDINGS

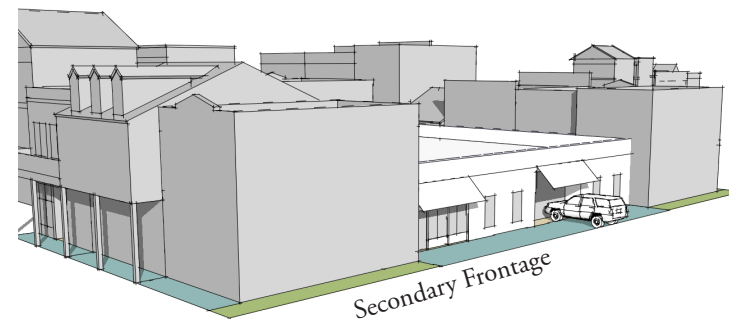
**Transparency:**

- On the facade fronting the primary street, hereafter called the “Primary Facade”, Parking Structures must be lined by commercial space which conforms to one of the applicable Building Typologies as set forth in the Regulating Plan.
- On any facade that faces Secondary Frontage, the first story shall have a transparency 40% to 70% of the facade on the first floor and each upper story shall have a transparency 15% to 60% of the facade. Any other facades that are visible from a public right of way, both the first story and upper stories shall have a minimum transparency of 40%.
- Vehicular entries into Parking Structures should occur on Secondary or Service Frontage where possible. An entry may occur on an area of Primary Frontage provided that the Parking Structure is behind liner buildings of at least 10’ in depth.



**Roof Massing:**

- One story buildings may contain one story of parking above grade and shall be a maximum of 34’ in height.
- Two story buildings may contain two stories of parking above grade and shall be a maximum of 42’ in height.
- Parapets must extend a minimum of 42” above the top of the floor structure at the highest level of parking.
- Parapets must occur within the maximum building height.
- Buildings with a flat roof and parapet are not required to have a cornice/eaves line distinct from the top of the parapet.
- All rooftop equipment shall fall within the permissible roof heights, be located away from slopes or areas exposed to the public street, and otherwise be screened from view from adjacent public streets or be incorporated into the skin of the building or internal to the block.
- At the option of the city, upon its election to construct the Optional City Parking Level on the Parking Structure, three story buildings may be permitted that contain three stories of parking above grade and shall be a maximum of 46’ in height.



**Architectural Features:**

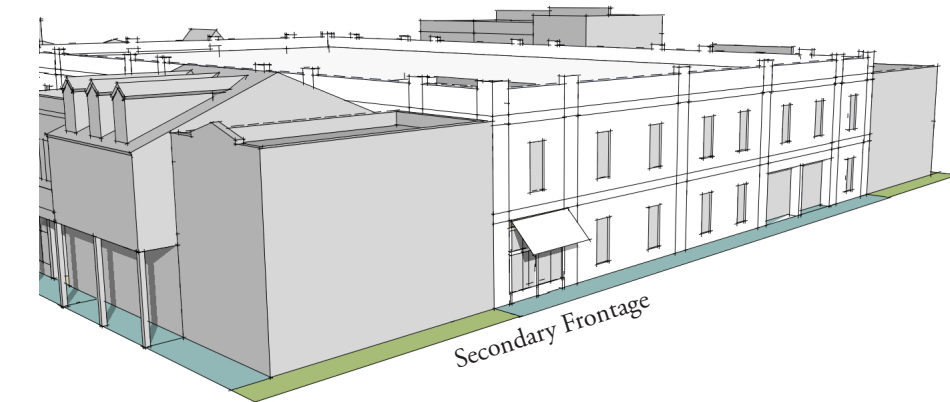
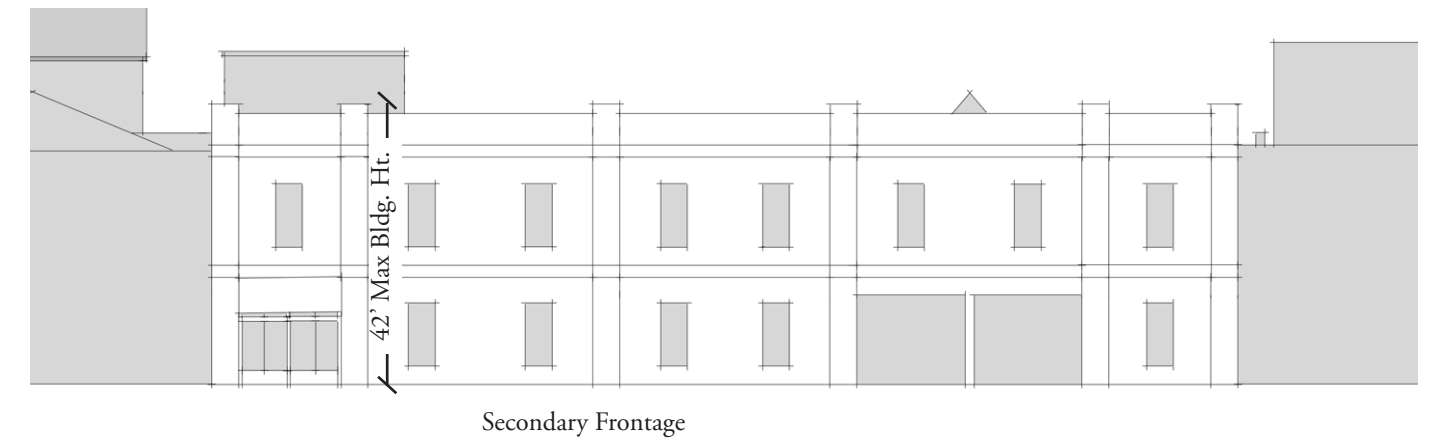
- Stair towers may exceed the maximum building height if designed in accordance with the Architectural Features requirements in the General Design Guidelines, except that such stair tower may be located at any location within such Parking Structure.

**Bay Rhythm:**

- Differentiated bays should be expressed on each facade of a building directly fronting a public space or street.
- Bays shall be a minimum of 25’ and a maximum of 50’ wide on Primary Frontages. On any facade that is visible from a public right of way that is directly adjacent to an area of Primary Frontage, at least one bay shall be articulated on the corner adjacent to the Primary Facade. Where these facades are over 60’ in length, they must have architectural articulation, such as bays or pilasters, for at least 20% of the facade in addition to the first bay adjacent to the Primary Facade.



TWO STORY BUILDINGS





The Grocery Building Typology in Lane Parke should be designed in a manner that does not compromise the pedestrian character of the Village. Careful consideration must be given to integrate the large massing of the structure as well as high parking and visibility requirements into the fabric of the village streets and blocks.

The Grocery Building Typology shall be located along secondary streets (or private street frontages) only. Facades of the building visible from a public right of way should be lined with Street Front Building(s) or other appropriate typologies. If a facade immediately fronts a public right of way without liner buildings, then it must be detailed in a manner consistent with adjacent building typologies. Surface parking requirements shall have limited frontage on streets and should be screened with enhanced landscaping.

The following pages detail height, massing and orientation standards that govern a Grocery Building to ensure any such structure it will remain in character with the existing Village. A Grocery Building shall meet the following building standards, which standards shall control over any conflicting provisions of the Village Overlay Standards or of the Local Business District Standards.

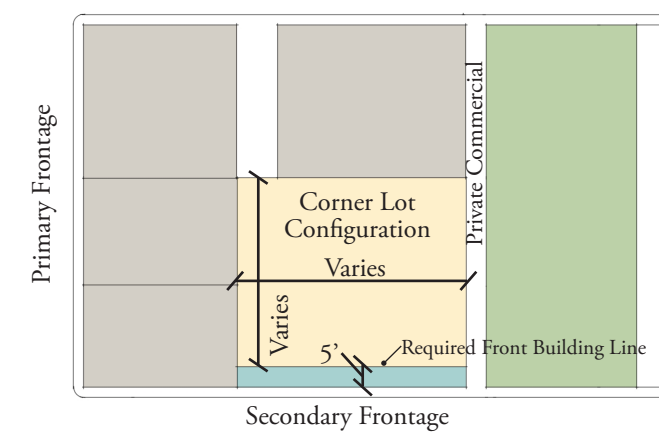
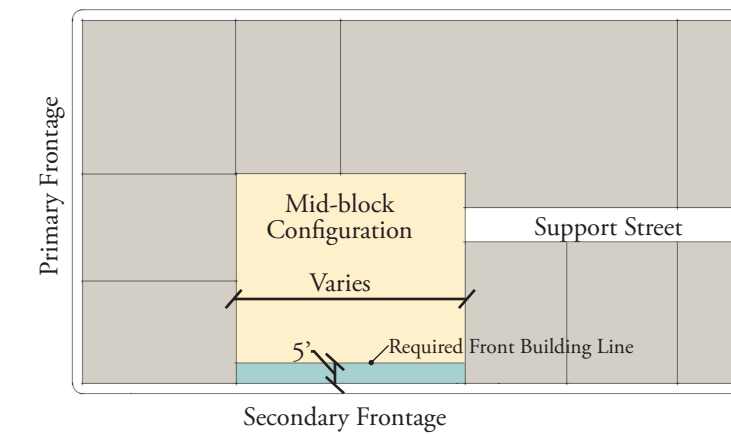


LEGEND

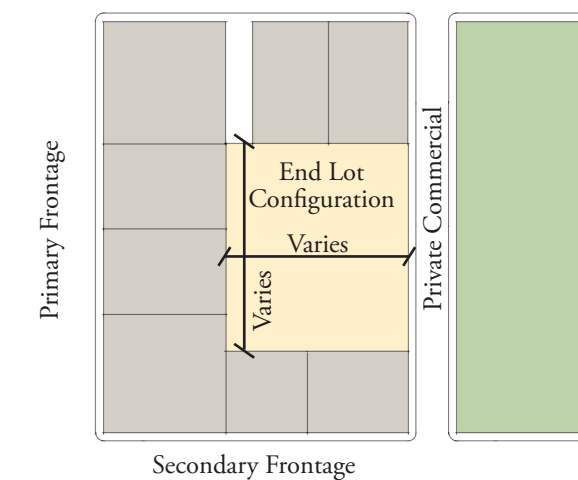
	BUILD-TO ZONE
	GREEN SPACE
	ALLOWABLE BUILDING FOOTPRINT & SURFACE PARKING
	RESIDENTIAL LOT
	BUILDING FOOTPRINT
	ADJACENT COMMERCIAL LOTS

LOT LAYOUT NOTES:

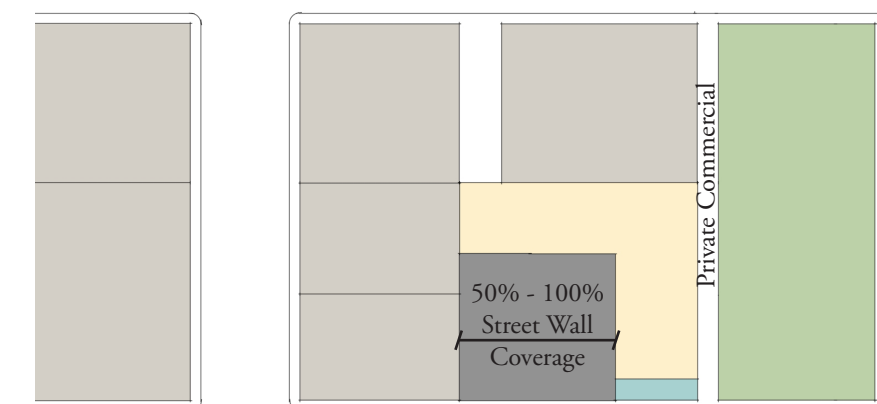
- There is no minimum or maximum required lot depth.
- There is no minimum or maximum required lot width.
- The front facade of the building must occur in the Build-To Zone if fronting a Primary or Secondary Frontage. No build-to requirements shall apply if the front façade of the building is facing a Private Frontage.
- Exceptions to Street Wall Coverage requirements may be permitted for the following: a) to comply with the Open Space Requirements, b) to create Open Space for plaza or street market.
- Maximum lot coverage is 90% of the buildable lot area. Any open space required on the lot shall reduce the maximum lot coverage. Pedestrian and vehicular access drives shall not count against the lot coverage.
- All references to lot or depictions of a lot line shall refer to a land condominium Unit or the boundary line of a land condominium Unit, or if no applicable land condominium Unit has been established, then to a Parcel or the boundary line of such Parcel.
- Lot references shall not refer to a condominium Unit other than a land condominium Unit.



Primary Frontage Corner and Mid-Block Lot Configurations



End Lot Configurations



Street Wall Coverage Requirements

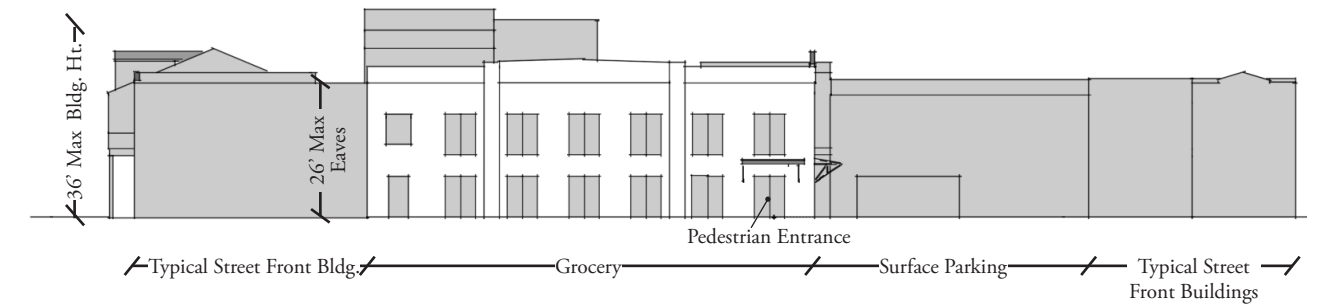
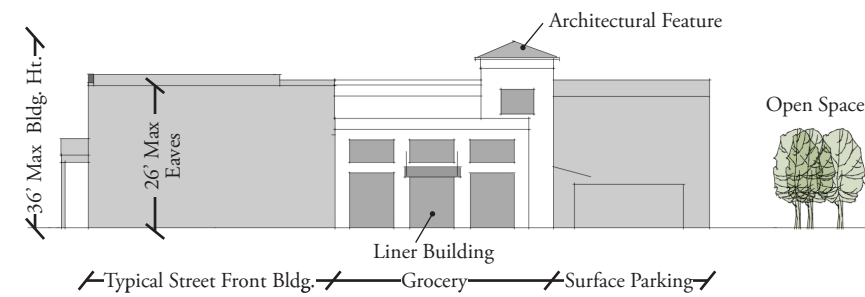


NOTES

**Transparency:**

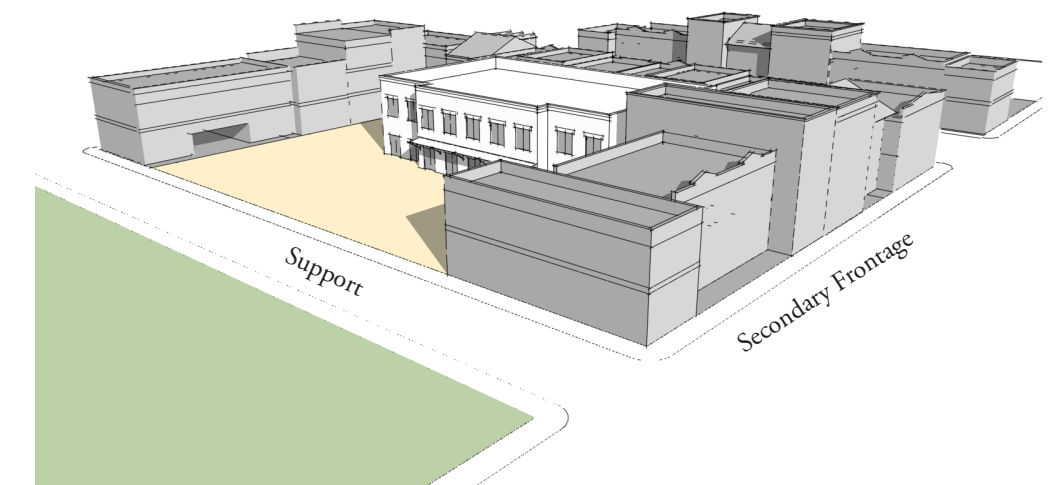
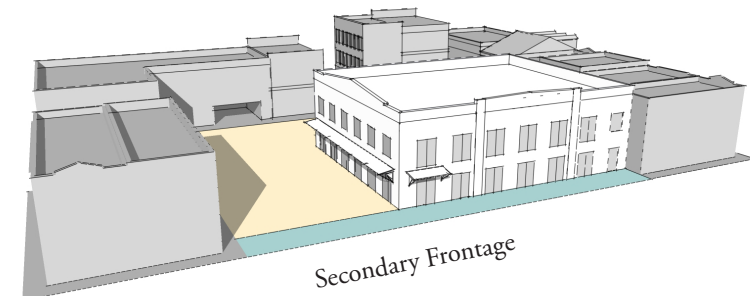
- On any facade that faces a Secondary Frontage, the first story shall have a transparency of 30% to 70% of the facade on the first floor and each upper story shall have a transparency of 15% to 60% of the facade. Any other facades that are visible from a public right of way, both the first story and upper stories shall have a minimum transparency of 40%.
- Frontages visible from public right of ways may be lined with commercial space that conforms to one of the applicable Building Typologies as set forth in the Regulating Plan.
- Vehicular entries to parking should occur on Secondary Private or Service Frontage. An entry may occur on an area of Primary Frontage, provided that the building is behind liner buildings of at least 10' in depth.
- For this typology, transparency requirements on facades that face a Secondary Frontage may be met utilizing double-pane insulated spandrel glass units.

ONE STORY BUILDINGS



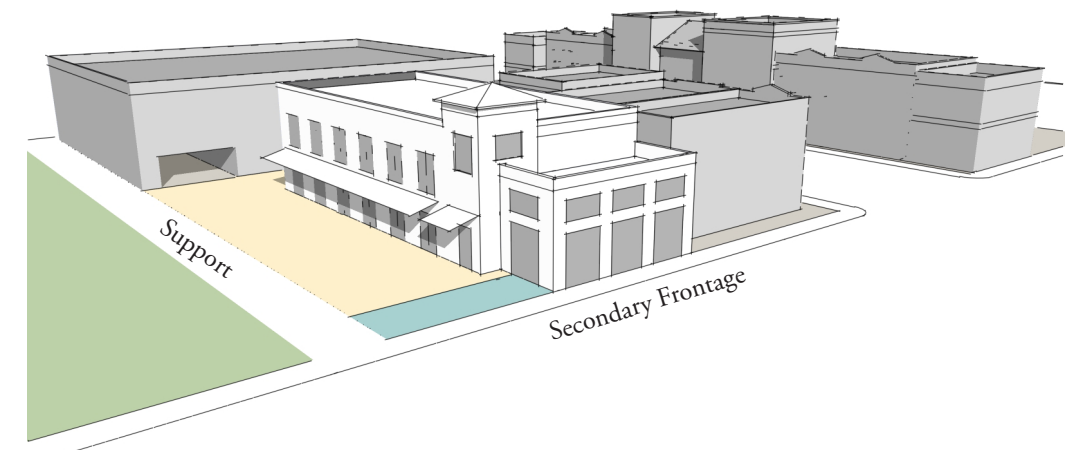
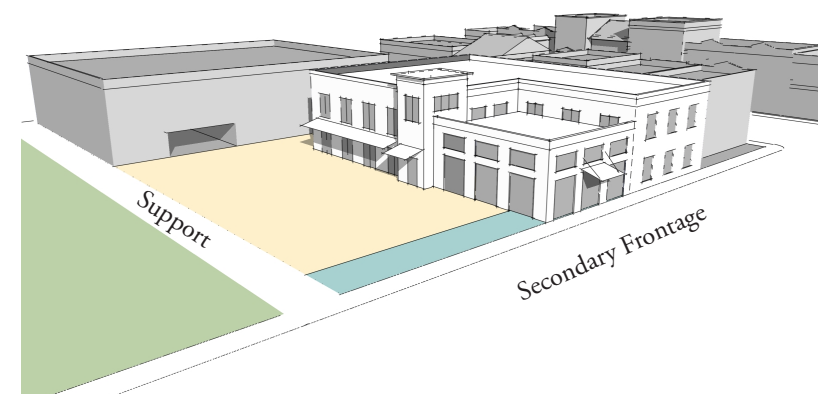
**Pitched Roof Massing:**

- One story buildings with a pitched roof shall have a maximum cornice/eaves height of 26'.
- Pitched roofs must not extend more than 10' above the eaves if the roof pitch is 5:12 to 13:12.
- Pitched roofs must not extend more than 16' above if the roof pitch is 14:12 to 20:12. Pitched roofs sloped greater than 20:12 will not be allowed.
- No building shall exceed 36' in height.
- Pitched roof structures may contain additional floor area which may be occupied without counting towards the story maximum for purposes of the Regulating Plan, provided any additional floor area is associated with and accessory to the floor area of the inferior story. In this condition, the maximum cornice height may be exceeded by 3', provided that a transparency of 15% to 45% is provided for the half story through the use of dormers.



**Flat Roof Massing:**

- Parapets must extend a minimum of 3' above the top of the roof structure. This minimum height is intended to ensure that all rooftop equipment is hidden from public view.
- Parapets must occur within the maximum building height.
- Buildings or store spaces with a flat roof and parapet are not required to have a cornice/eaves line distinct from the top of the parapet.
- All rooftop equipment shall fall within the permissible roof heights, be located away from slopes or areas exposed to the public street, and otherwise be screened from view from adjacent public streets or be incorporated into the skin of the building or internal to the block.



**Architectural Features:**

- Buildings are limited to one story.
- Internal mezzanine floors are permitted within allowable ceiling height.
- Differentiated bays should be expressed on each facade of a building or store space that is over 60' wide and is directly fronting a public space or street.
- Bays shall be a minimum of 20' and a maximum of 30'; they must have architectural articulation, such as piers or pilasters.



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# Lane Parke

## ARCHITECTURAL STYLES

Each building or façade within Lane Parke shall be designed in accordance with one or more of the following Architectural Styles: (i) Village Romantic, (ii) Southern Mercantile, (iii) Birmingham Classic and (iv) Village Mid-Century. The design of each building, façade, store space or residential space shall conform to the guidelines established herein for the designated Architectural Style, including the Identifying Features and Design Concepts, which must be approved in accordance with the Design Review Process. Multiple Architectural Styles may be applied to the following Building Typologies: (i) Street-Front Buildings, (ii) Free-Standing Buildings, (iii) Residential Buildings, (iv) Inn Building, (v) a Parking Structure, and (vi) Grocery Building. Multiple Architectural Styles shall, when appropriate, be applied to the façades of any Street-Front Building that occupies the length of a block in order to create architectural diversity (taking into consideration the architectural diversity of surrounding buildings). For each Architectural Style, example photographs and illustrations have been included as reference material, provided however, such Design Examples shall not be construed as final designs, nor shall such Design Examples be construed to require the incorporation of any particular design element represented therein. Final designs may vary from such Design Examples provided such designs substantially conform to the guidelines established for the designated Architectural Style. The standards for each Architectural Styles shall control over any conflicting provisions of the Village Overlay Standards, the Local Business District Standards or the Residence G Standards.



The VILLAGE ROMANTIC Architecture Style is based on the extensive palette of existing precedent within Mountain Brook Village and the larger Shades Valley area. Mountain Brook and the surrounding villages were developed during the early twentieth-century when the turn-of-the-century romantic movements influenced many architects, planners, and developers. The ultimate source of these movements is the reverence of the traditional European village and its values expressed in quality, natural building materials and a rich variety of simple massed forms.

Roofs are steeply pitched, typically 11:12 to 20:12, and front facing gables are very common and encouraged individually or in groups. Walls are masonry or stucco with half-timbering, stucco, shingle, or siding as upper story surfacing of in gable infill, often beginning over the window head trim. Windows are grouped vertically and horizontally to create larger glazed openings, with the upper sash of all windows being divided into smaller panes over a single pane lower sash. Turrets, arches, bays, brackets, dormers, and chimneys all embellish and add character to Village Romantic structures.

**APPROPRIATE BUILDING TYPOLOGIES**

- Street-Front Buildings
- Free Standing
- Residential
- Inn

**IDENTIFYING FEATURES**

1. STEEPLY PITCHED ROOFS (11/12 TO 20/12)
2. PICTURESQUE MASSING, OFTEN ASYMMETRICAL IN OVERALL COMPOSITION
3. SECOND STORY OR OTHER KEY ELEMENTS PROJECT FROM MAIN WALL PLANE
4. MASONRY WALLS ON GROUND LEVEL OF MULTI-STORY BUILDINGS
5. POLYGONAL TURRETS OR TOWERS AT INSIDE CORNERS
6. HALF-TIMBERED WALL SURFACE TREATMENT

**APPROPRIATE BUILDING MATERIALS**

- Wall materials: brick, painted brick, stucco, and stone masonry
- Trim/accent materials: brick, cutstone, cast stone, and wood
- Roofing materials: slate, flat clay or concrete tiles, metal or composite architectural shingles

**ADDITIONAL RESOURCES**

- *Designs on Birmingham* edited by Philip Morris and Marjorie White, published by the Birmingham Historical Society.
- *Mountain Brook Village: Then & Now* by Linda Nelson and Marjorie White, published by the Birmingham Historical Society.
- *The Abrams Guide to American House Styles* by William Morgan.
- *A Field Guide to American Houses* by Virginia and Lee McAlester.
- *American Houses: A Field Guide* by Gerald Foster





VILLAGE ROMANTIC DESIGN CONCEPTS

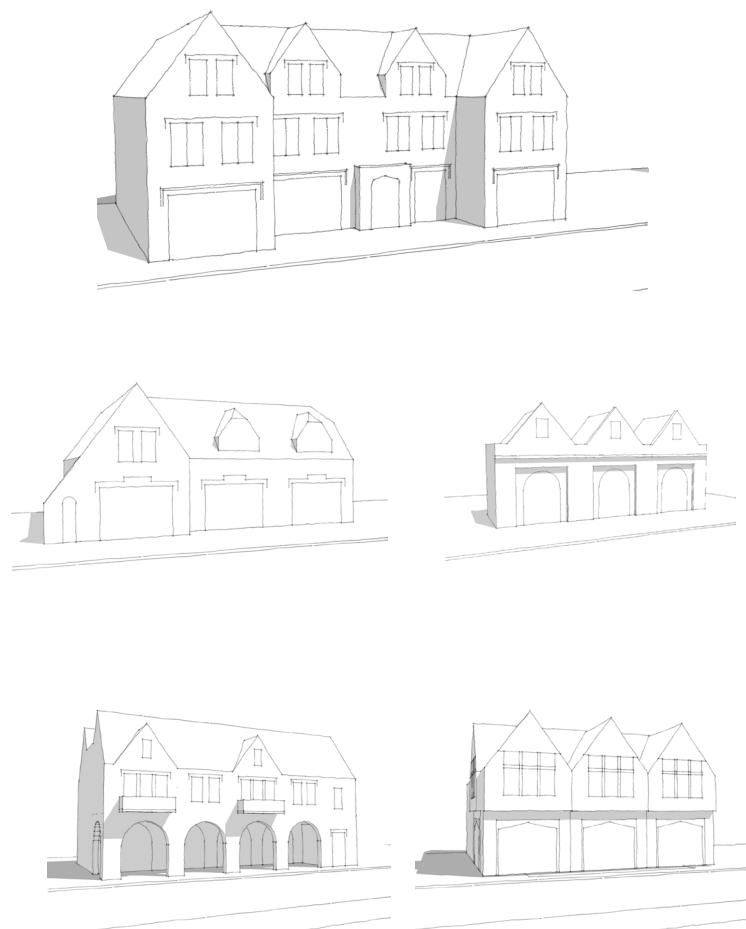
**SYMMETRY** - A Village Romantic building will have a picturesque structural order guided by the eye for an overall harmonious composition. Bilateral building symmetry is not common and is discouraged. Individual design elements or groups of elements can be symmetrical to each other however. While this apparent contradiction makes the style more difficult to prescribe than others, the results of a well composed Village Romantic building will have a timeless, charming character.

**PROPORTION** - All historic styles are grounded in simplicity of proportion formulas, if any are present at all. Many times proportion is simply that which 'looks' right. In the Village Romantic style, 1:2, 1:3, 2:3, and 3:5 are key proportional relationships to consider. Wall opening dimensions need to honor standard masonry unit sizes to minimize awkward material cuts and misaligned openings. The overall goal of the style should be an appearance of modest, durable charm.

**SURFACE** - A Village Romantic surface is meant to be textured. Wall material should be as natural as possible, brick, stone, or wood, with natural undulations across the masonry faces to create soft variations in shade and shadow. Openings are recessed deeply to create strong shadow lines and trim profiles are projected to unify grouped elements.

**HIERARCHY OF SCALE** - The scale of details are very important in this style to be appropriate to the building material being used. Stone and masonry details will be larger and more simple than those of details constructed in wood. Details are more prevalent in this style more so than any others because of the variety of architectural elements at your disposal; it is better to be reserved and get a few great details versus ambitious and design a lot of mediocre or incorrect ones. Monumental design elements to be viewed from afar are not typical due to the inherent modesty of the architectural style.

VILLAGE ROMANTIC MASSING EXAMPLES



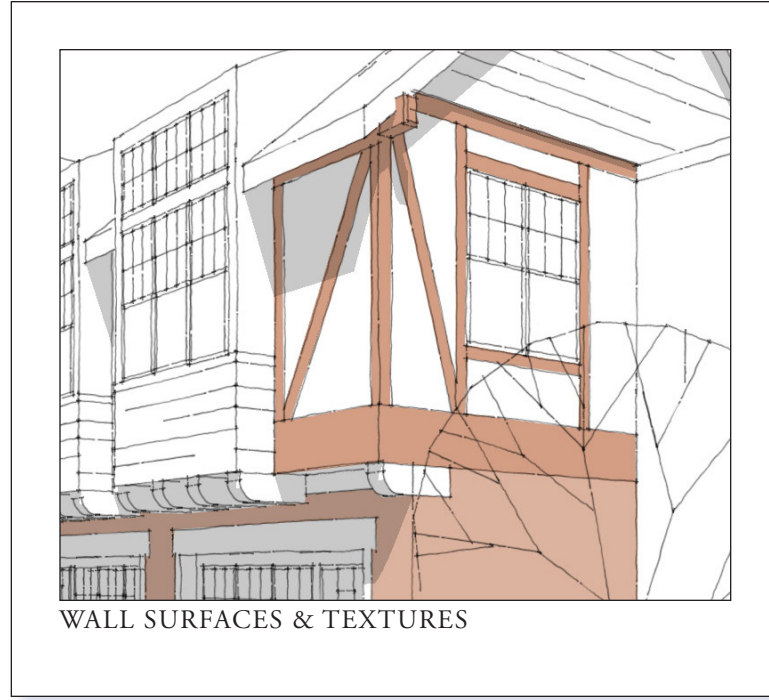
Village Romantic's largest and most common design element is the use of gable-fronted end walls. They can be in Brick (natural color or painted/stained), Stone, or Stucco, with wood possibly being introduced in the upper stories through half-timbering (entire wall) or thick beveled siding (starting over the upper window head trim).

All masonry appearance should be one to project a hand crafted appearance, minimizing the machine influence of material production. Roof Pitch should be high (11/12) to steep (20/12). If wood is used in upper gables the roof structure will project out from the wall by a minimum of 6"; if masonry is used, a slight parapet will terminate the roof structure behind the wall and the parapet will be capped with masonry, often slightly contrasting in color and texture with the lower wall material.

Gable End Walls are also commonly grouped together in number which can create a very appealing rhythmic roofline. If grouped, gables should maintain the same material appearance while the fenestration may vary.







WALL SURFACES & TEXTURES

The most important feature of a Village Romantic building is the treatment of the exterior wall surface in its design and in material character. The Village Romantic is rooted in the precedent of the existing built fabric of Mountain Brook specifically and in the overall Shades Valley area. This existing precedent was itself built upon the precedent of the Garden City movement of the early 20th Century, popularized by British Arts & Crafts architects and planners working at that time. Natural materials like stone, brick, stucco, and wood, are used in combination to create a charming visual texture across all building faces.

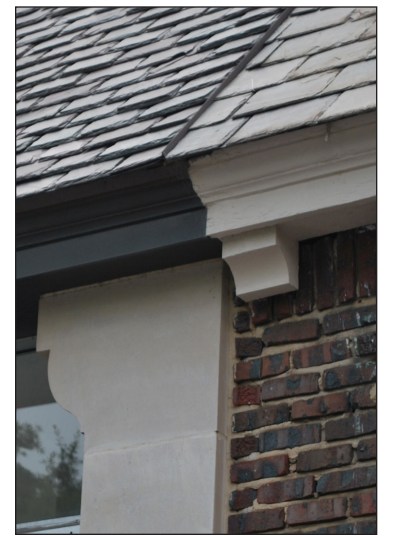
Half-Timbering is an ornamental wall detail to depict the structural appearance of wood wall supports infilled with a contrasting wall material. Common dimensions to consider for wood 'timbering' trim - 5"-9" in width, to be flush with or slightly protrude from the infill surface. The infill material is most commonly stucco, smooth or rough texture, followed by brick in non-structural patterns painted or stained to a light color. An alternate contrast can be achieved if the wood trim is light and the infill is a darker tone or hue.

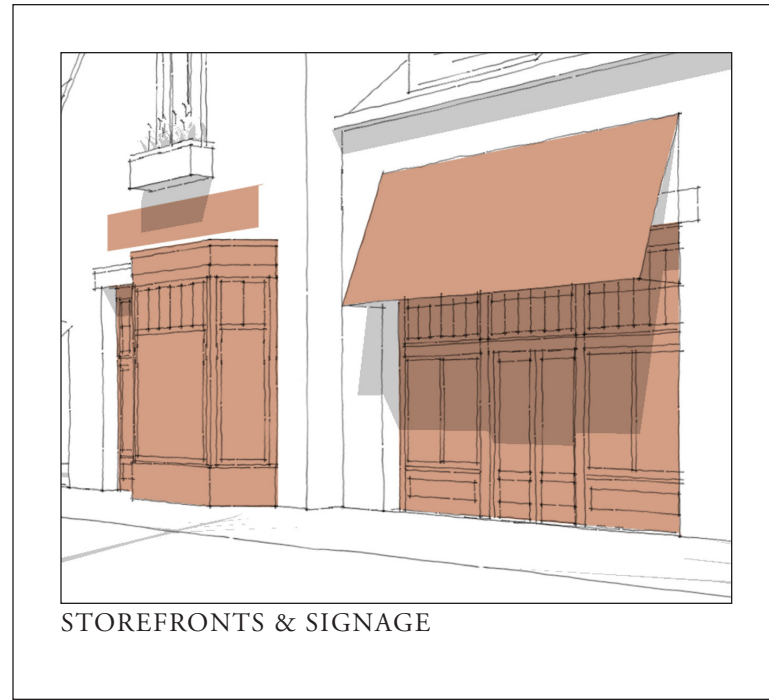


PROJECTIONS & OVERHANGS

Another distinctive element in the Village Romantic style is the occurrence of wall projections and overhangs. 'Projection' and 'Overhang' will be interchanged in the text below to describe the general effect of 'sticking out', but there is a slight difference. 'Projection' is used to describe individual building elements that project out from the main wall plane, such as bay windows and dormers. 'Overhang' is used to describe an entire floor/wall that cantilevers over the one below in order to expand interior space - it is a very practical consideration, as the old adage goes, make every inch count!

When an overhang occurs there is always a transition of material and it will always transition from 'heavy' to 'light', that is, if brick, stone, or stucco is used on the ground level the upper story that is overhanging will be a lighter mix of materials, often seen as half-timbering (wood posts between stucco or brick infill). The distance of these overhangs will not exceed 24" and are most common between 6"-16". In the larger overhangs there will often be visual if not structural support provided underneath the projection. If a 'Projection' occurs off of the lighter story it will often maintain the similar wall surface material. If it projects off a solid masonry wall the lighter mix of materials rule should apply.

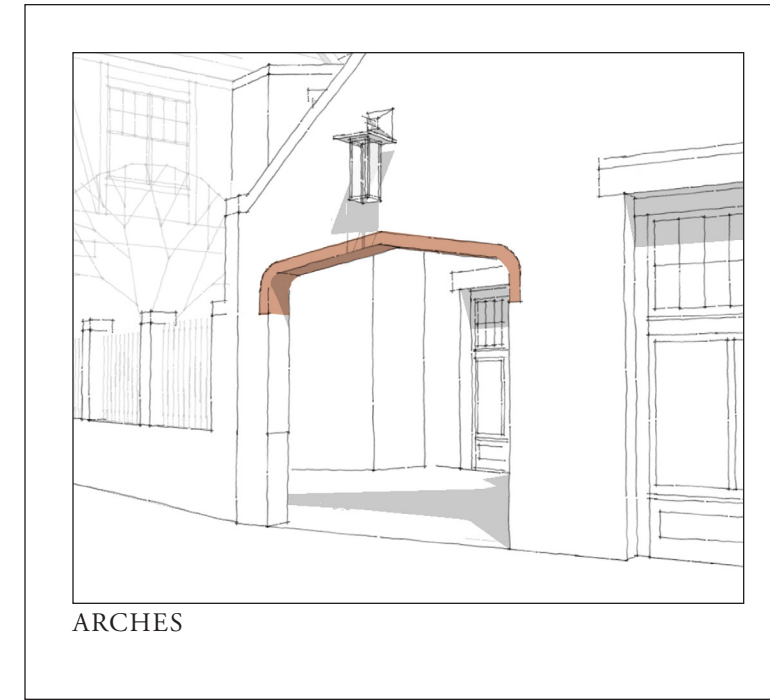




STOREFRONTS & SIGNAGE

Getting the correct scale of a Village Romantic Storefront is the most important goal. Historically, these structures were more on the human scale with the openings and display area smaller than those of other architectural styles. The key concept to keep in mind while designing this style of storefront is to be 'warm and welcoming'. Architecturally this can be accomplished by limiting the store opening to 12 feet or less in height and providing an awning that reduces the effective 'ceiling' to around 8'-9'.

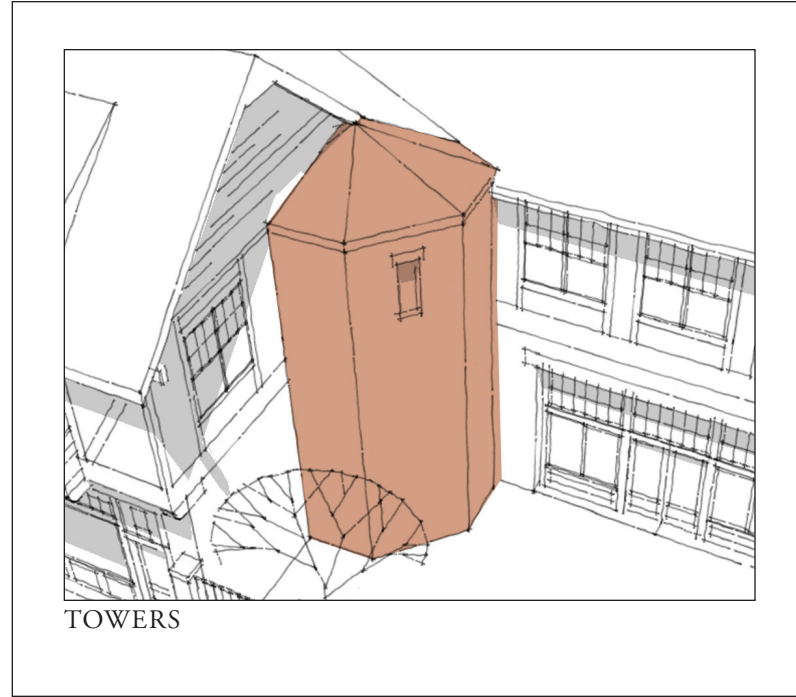
Storefront material should be of wood construction, with heavier, articulated framing 6"-10" in width. Transom window sashes should be divided into multiple, vertically proportioned panes, while lower display windows should be large clear glass, but never wider than tall.



ARCHES

In the Village Romantic style, arches abound and are used as a very good clue to determine the overall style of an authentic building. The most commonly used form is called a 'Tudor Arch' - a flattened, pointed, arch typically built up from four key center points. It is very similar in appearance to an elliptical arch. The dimensions of all Tudor Arches may vary but the distance from spring-line to peak should always be less than half of the arch opening. Other acceptable forms to consider would be elliptical and half-round arches. The trim around the arch can be brick, stone, stucco, or wood and will often be in a contrasting color from the wall which surrounds it. Arches repeated in a row as an ensemble make for very successful and useful arcades. Repetition of this element should occur in odd numbers only.





Village Romantic Towers are charming, solid, and mostly subtle design elements. Unlike more formal castles and forts, Village Romantic towers occur at inside corners (most common), or off of the front building face (not centered), or as a growth off up from the wall plane (fully engaged).

Towers can be circular, rectangular, or polygonal (6-8 sides most common) and should seek to maintain the main building mass eave line or act as a transition between two different eave heights. They are not common in great numbers as they are not an essential element to creation of a pleasing Village Romantic Building. If the project site is placed at the end of an axis line or is placed around positive outdoor space by use of a courtyard, a tower would be a successful design element to consider.

Materially, towers should be masonry (matched to the rest of the building, brick, stone, or stucco) with minimal punched openings to accentuate solidity.



Village Romantic Dormers are a very important roof element in this style to create visual interest within the mass of roof that steeper roof pitches create. They will most often be gabled in form, but may also be shed or a clipped gable. They can be located solely on the roof plane or be placed on the wall and provide a break in the eave line.

Dormers are typically large, with windows grouped in numbers from 2-4. They can be handled successfully in many different ways, but the most egregious error is for it not to be in proportion to the rest of the roof. Their placement needs to be composed well just as any other building element.

