

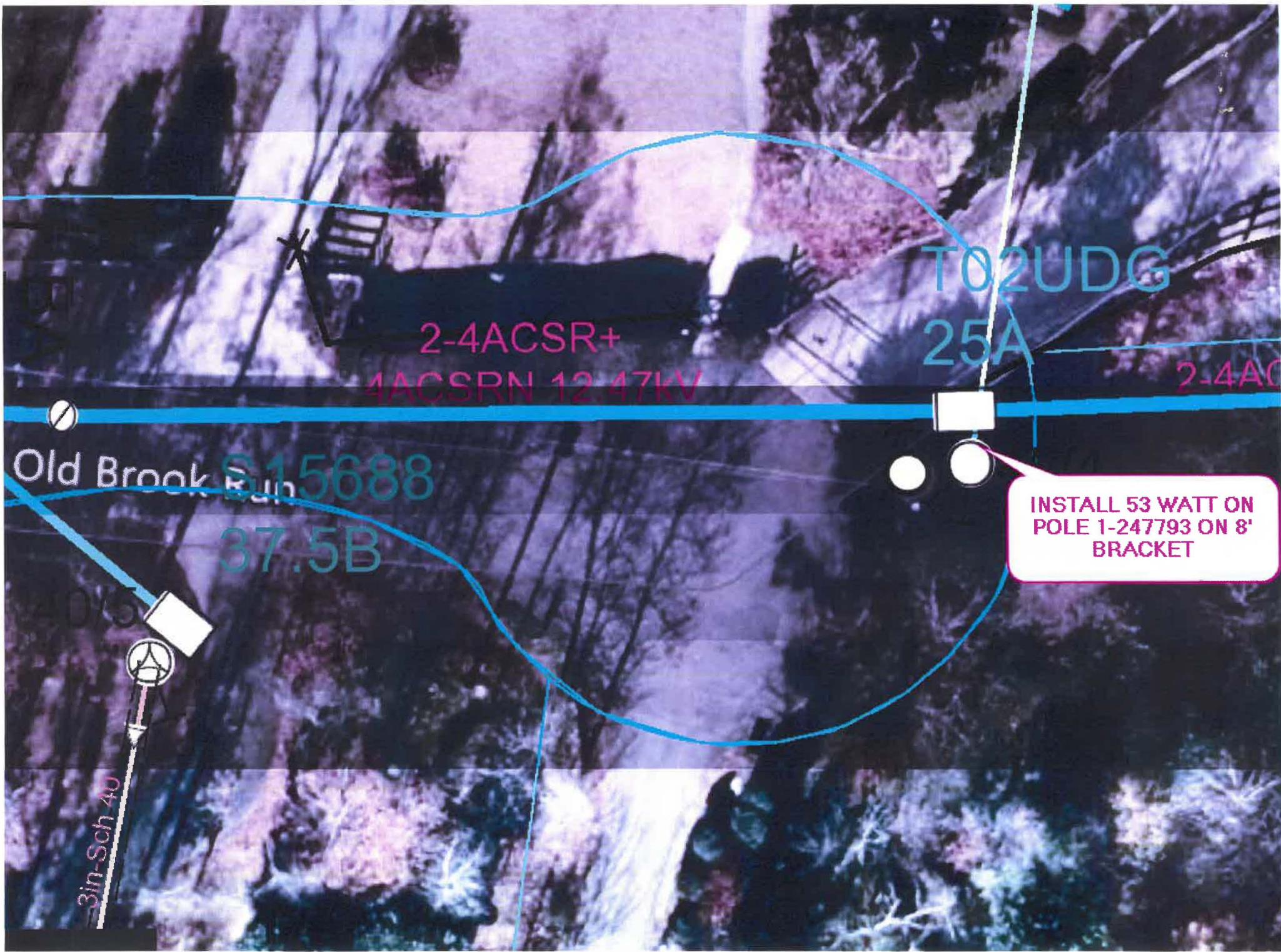
**PRE-MEETING AGENDA
MOUNTAIN BROOK CITY COUNCIL**

**PRE-COUNCIL ROOM (A106)
56 CHURCH STREET
MOUNTAIN BROOK, AL 35213**

MARCH 25, 2024 6:30 p.m.

As a matter of convenience, members of the public are invited to listen, observe and participate in public meetings by Internet video conference. Presenters and others interested in a particular matter for discussion are encouraged to attend the meeting in-person. The City is not responsible for technical issues that may occur that interfere with the virtual meeting. The City Council, at its sole discretion, may proceed with its in-person business meeting regardless of whether virtual attendees can hear and/or observe the proceedings. The City intends to make the meeting available by way of the Zoom app (re: Meeting ID 801-559-1126, password 03252024).

1. Street light request for Old Brook Run-Sam Gaston (See attached information. This item may be added to the formal agenda.)
2. Woodcliff Park sign-Shanda Williams (See attached information. This item may be added to the formal agenda.)
3. Deeds for two ROW donations for the Montclair Road Sidewalk Project-Whit Colvin (See attached information. This item may be added to the formal agenda.)



2-4ACSR+
4ACSRN 12.47KV

T02UDG
25A

2-4AC

Old Brook Run
S15688
37.5B

INSTALL 53 WATT ON
POLE 1-247793 ON 8'
BRACKET

3in-Sch 40

Lighting Services NESC® Lease Agreement



Customer Legal Name CITY OF MOUNTAIN BROOK DBA OLD BROOK RUN
 Service Address 0 STREETLIGHTS, UNREG NESC LIGHTS BIRMINGHAM AL 35213 County JEFFERSON
 Mailing Address PO BOX 130009, BIRMINGHAM AL 35213
 Email _____ Tel # _____ Alt Tel _____
 Tax ID _____ Business Description MUNICIPAL

Existing Customer? Yes ☒ No ☐ If Yes (and if possible), does Customer want Equipment added to an existing account? Yes ☒ No ☐ Existing Account 36128-68008
For informational purposes only

Equipment											
	Qty	Watts	Type	Description			OH/UG	M/UM	Equipment Amount (\$)	Estimated Regulated Charge (\$)*	Estimated Monthly Charge (\$)*
(1)	1	53	Area	Gray LED	5200-7200 Lumens	4000K	OH	UM	\$9.43	\$1.18	\$10.61
(2)											
(3)											
(4)											
(5)											
(6)											
(7)											
(8)											
(9)											
(10)											
Monthly Total *											\$10.61

Project Notes: INSTALL 53 WATT COBRA ON EXISTING APCO POLE.

Initial Term 36 **months** **Prepaid Amount** \$ 0.00

* The Regulated Charge is subject to change at any time as dictated by the Alabama Public Service Commission. The amount shown is an estimate based on the Unmetered Outdoor Lighting (ODL) rate in effect at time of Agreement proposal; actual charges may vary.

Customer agrees to lease the Equipment referenced above from Alabama Power Company on the attached terms and conditions and authorizes all actions noted above.

Customer Authorized Signature		Alabama Power Company	
Sign Here _____	Date _____	Sign Here _____	Date _____
Print Name _____		Print Name _____	
Print Title _____		Print Title _____	

APC Internal Use Only - APC Reference Number (if applicable): _____

Sam Gaston

From: Sam Gaston
Sent: Monday, March 18, 2024 1:37 PM
To: 'Happy BamaMom'
Subject: RE: FW: Street Light Request for Old Brook Run Cul De Sac

Should be fine unless you want to speed it up by emailing me that all three affected homes are in full support. That might get the Council to approve the light on March 25th instead of waiting till the April 8th meeting.

Sam S.Gaston
City Manager
City of Mountain Brook, AL.
56 Church Street
P.O. Box 130009
Mountain Brook AL. 35213
(205) 802-3803 Phone
www.mtnbrook.org



From: Happy BamaMom [mailto:tracypharo@gmail.com]
Sent: Monday, March 18, 2024 1:34 PM
To: Sam Gaston <gastons@mtnbrook.org>
Subject: Re: FW: Street Light Request for Old Brook Run Cul De Sac

No...just us three.

On Mon, Mar 18, 2024 at 1:33 PM Sam Gaston <gastons@mtnbrook.org> wrote:

Not really. Are there any others residents near this light besides the three families that want one?

Sam S.Gaston
City Manager
City of Mountain Brook, AL.
56 Church Street
P.O. Box 130009
Mountain Brook AL. 35213
(205) 802-3803 Phone
www.mtnbrook.org



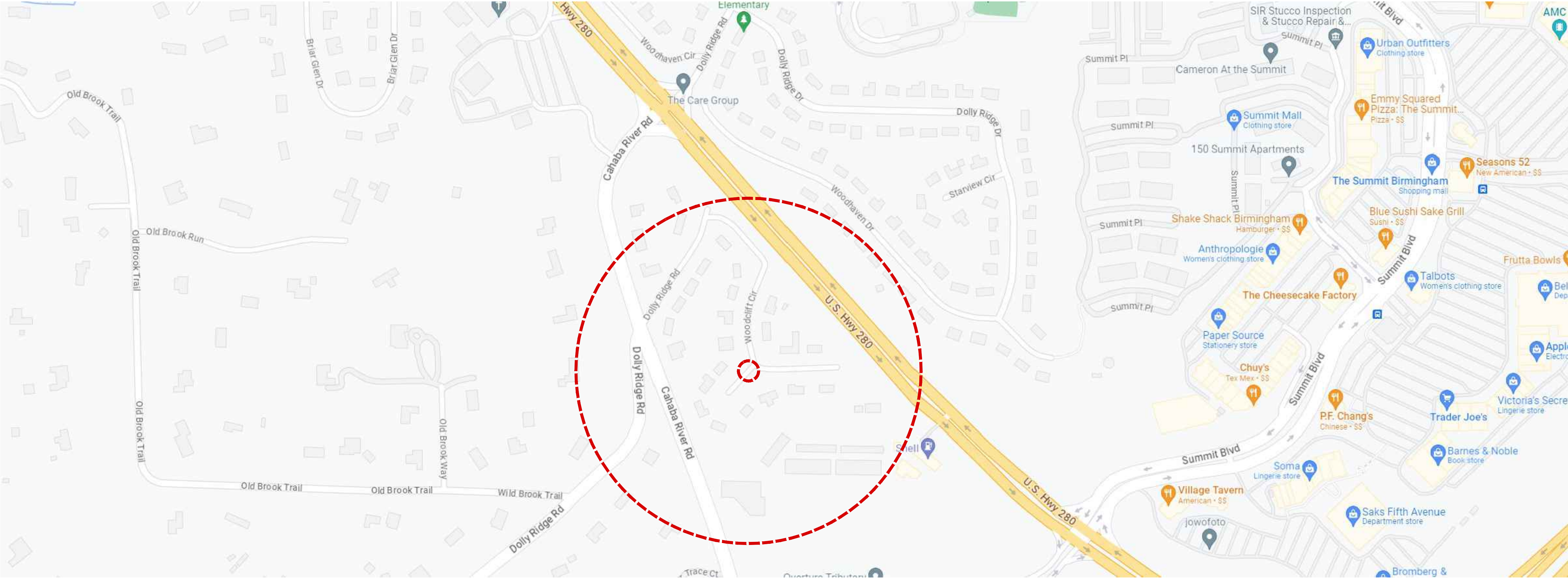
WOODCLIFT PARK

MOUNTAIN BROOK PARKS & RECREATION

A B C D E F G H I J K L M N O P Q R S T U V W X Y Z

A B C D E F G H I J K L M N O P Q R S T U V W X Y Z

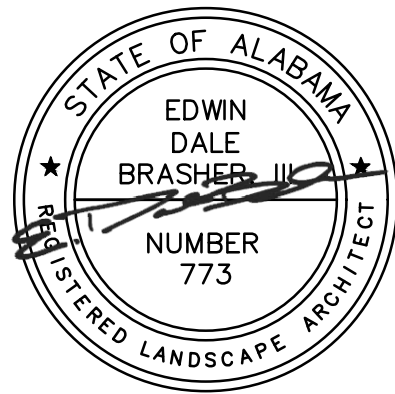
WOODCLIFT PARK SIGN



Mountain Brook, Alabama

WOODCLIFT PARK SIGN

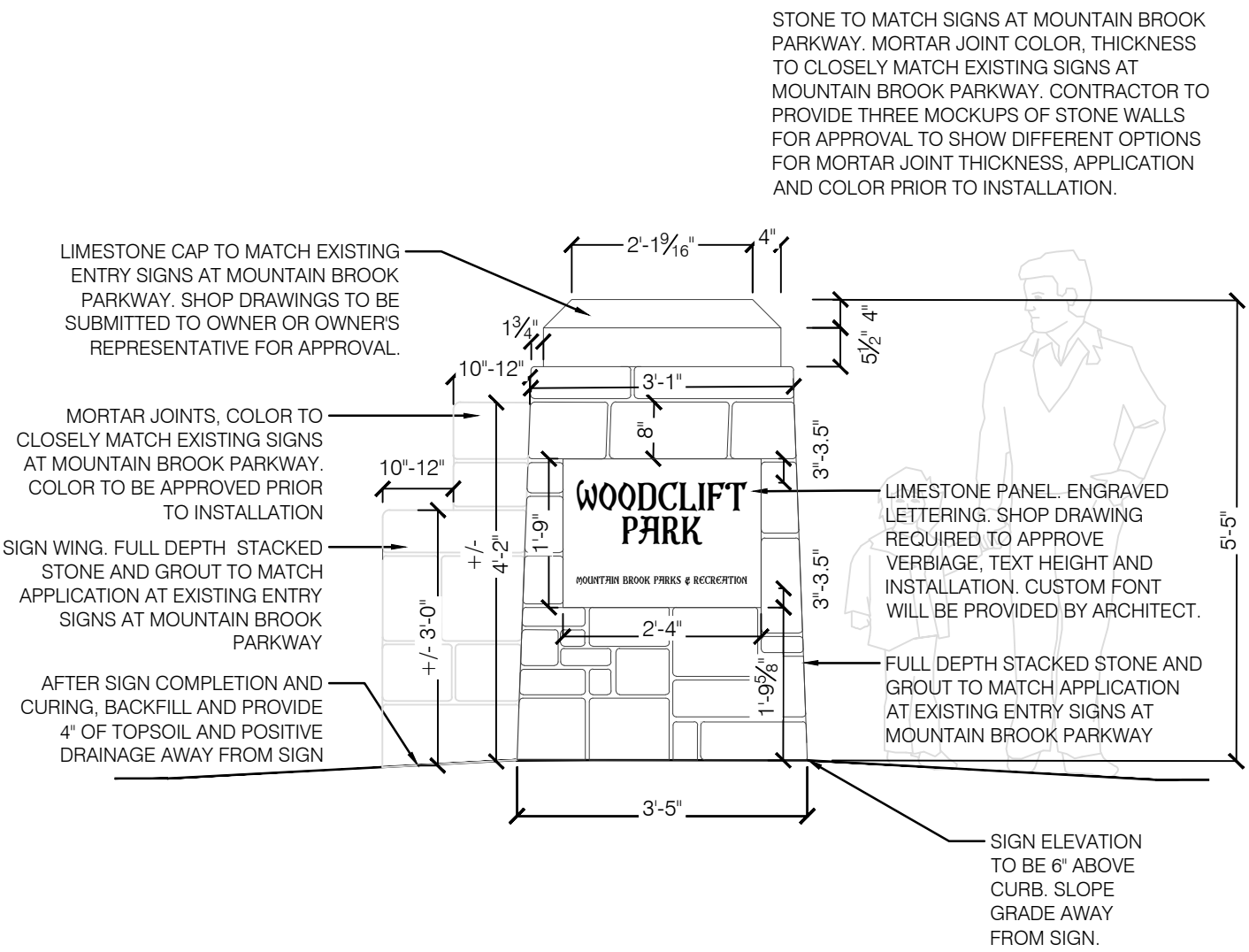
WOODCLIFT ROAD, MOUNTAIN BROOK, AL



SUBMITTAL	DATE
For Review	6/20/23
For Review	8/17/23
100% SET	10/02/23
IFC SET	02/20/24

TITLE SHEET

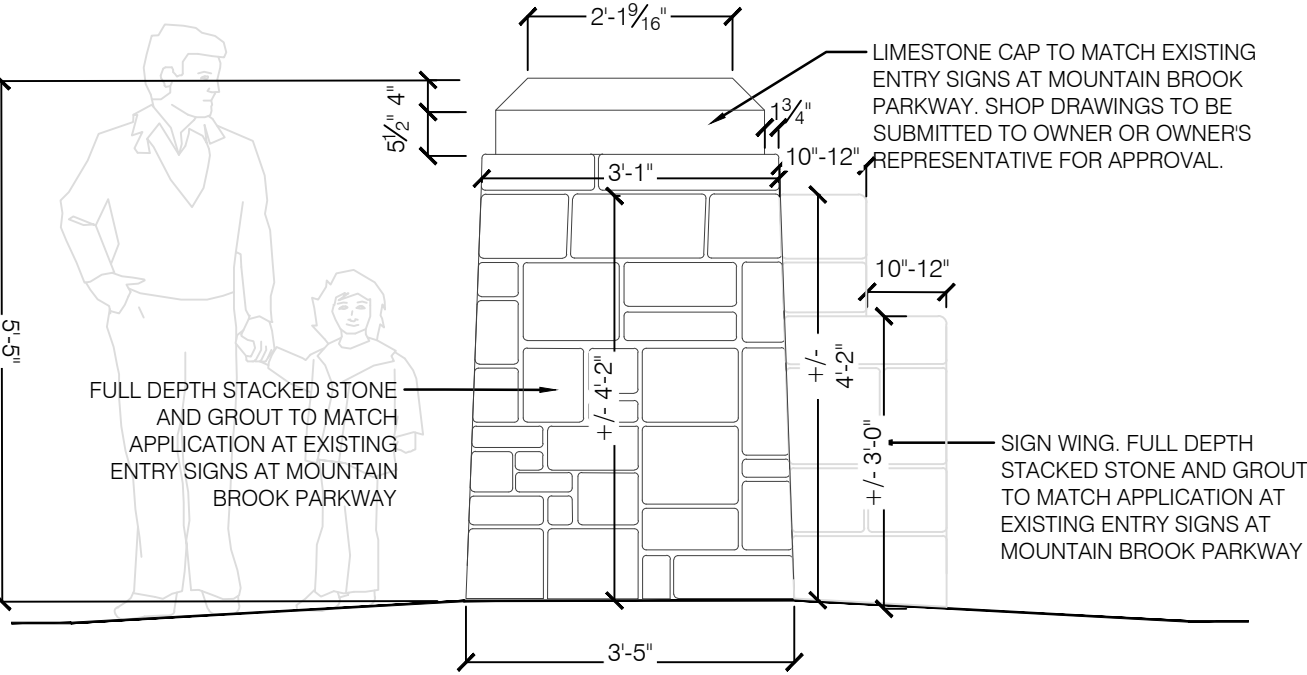
T1.00



01 FRONT ELEVATION

1/2" = 1"

DETAIL-FILE



04 BACK ELEVATION

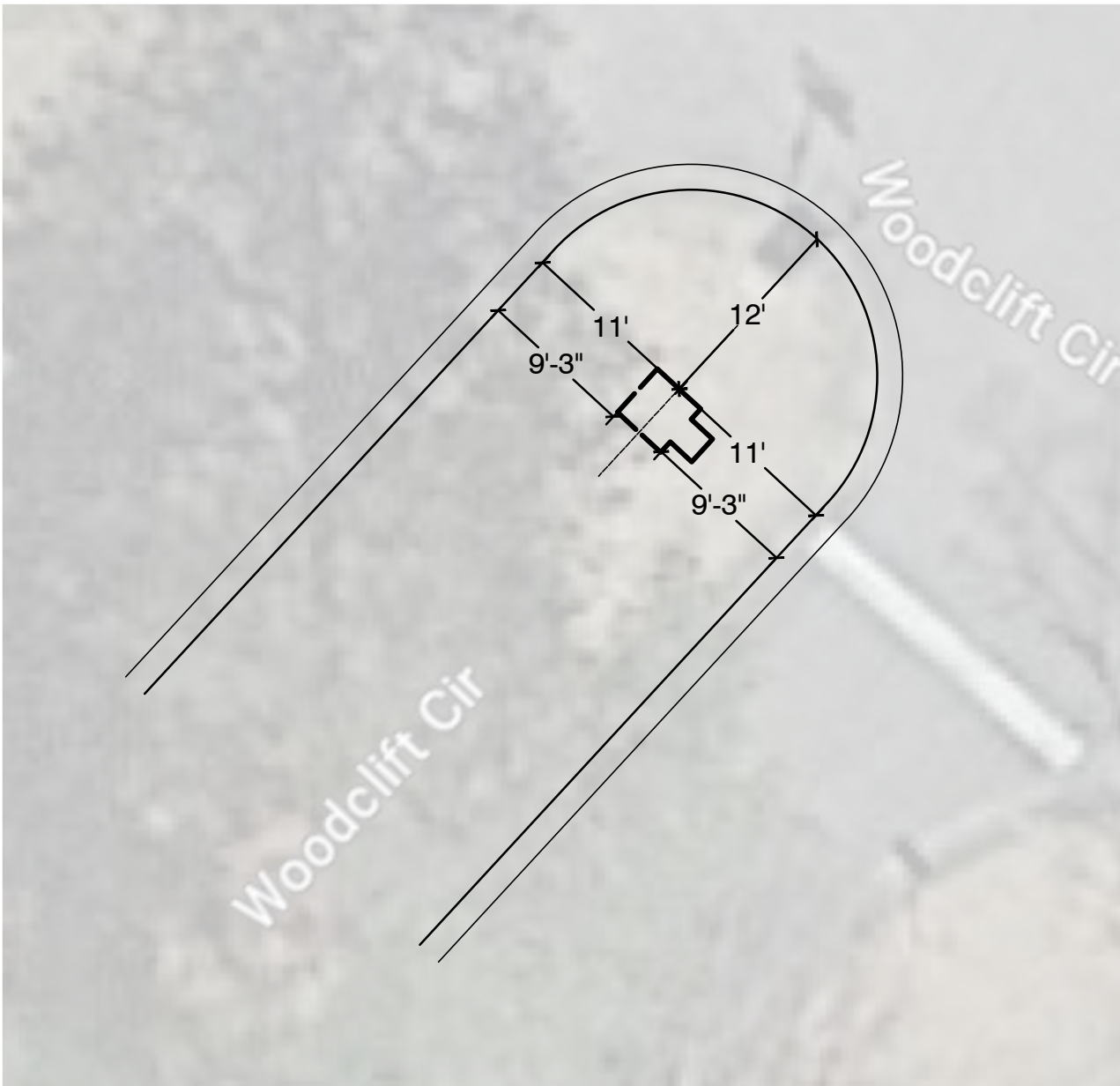
1/2" = 1"

DETAIL-FILE



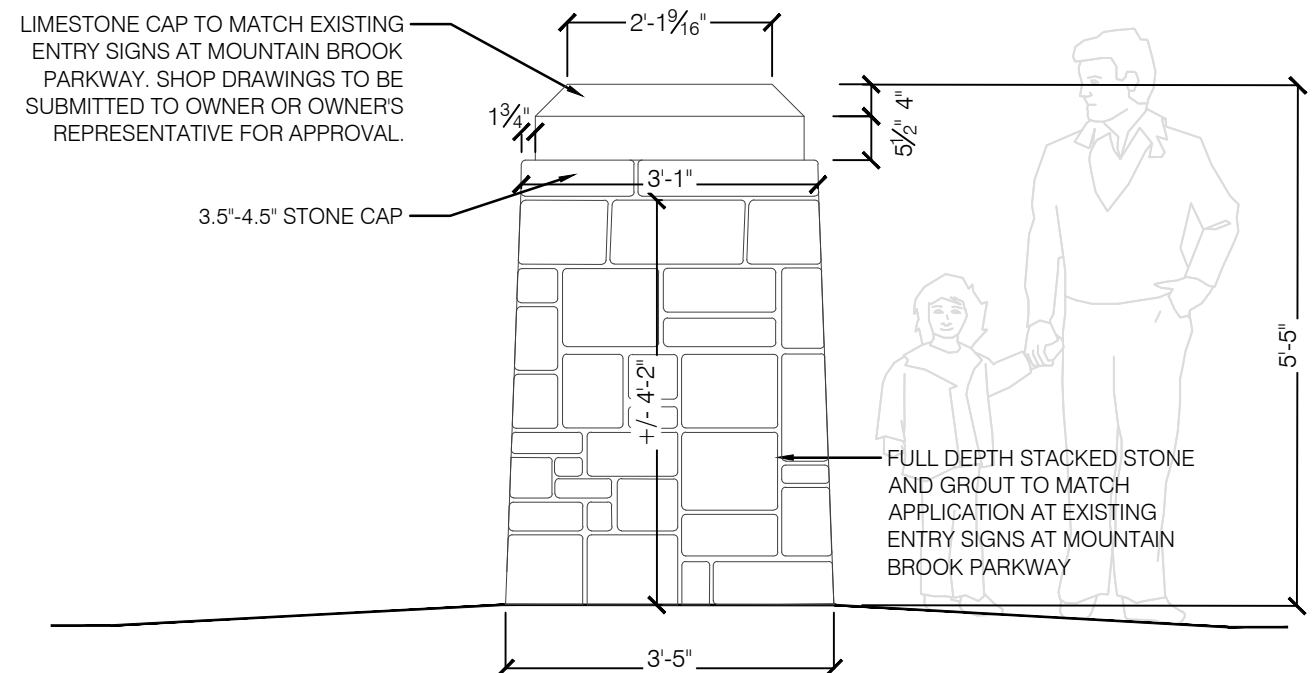
07 SIGN CONCEPTUAL MODEL

NOT TO SCALE



09 SITE PLAN: SIGN LAYOUT

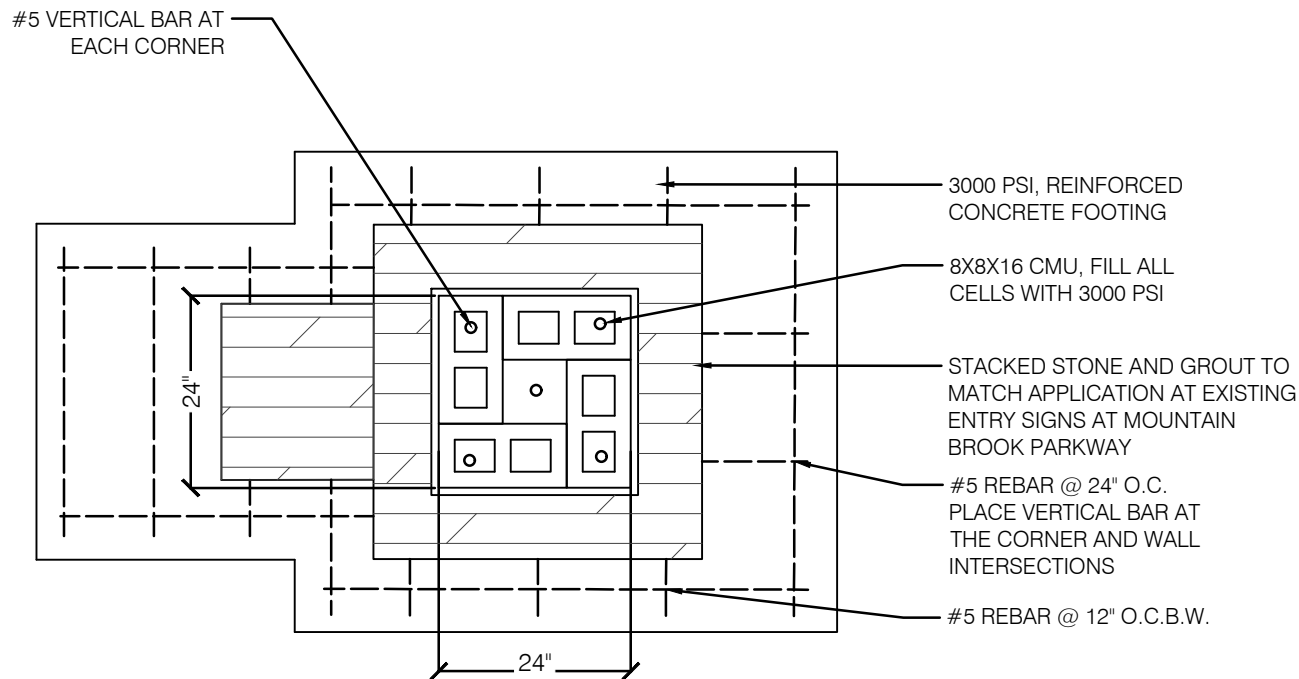
SCALE: 1" = 10'-0"



02 SIDE ELEVATION

1/2" = 1"

DETAIL-FILE



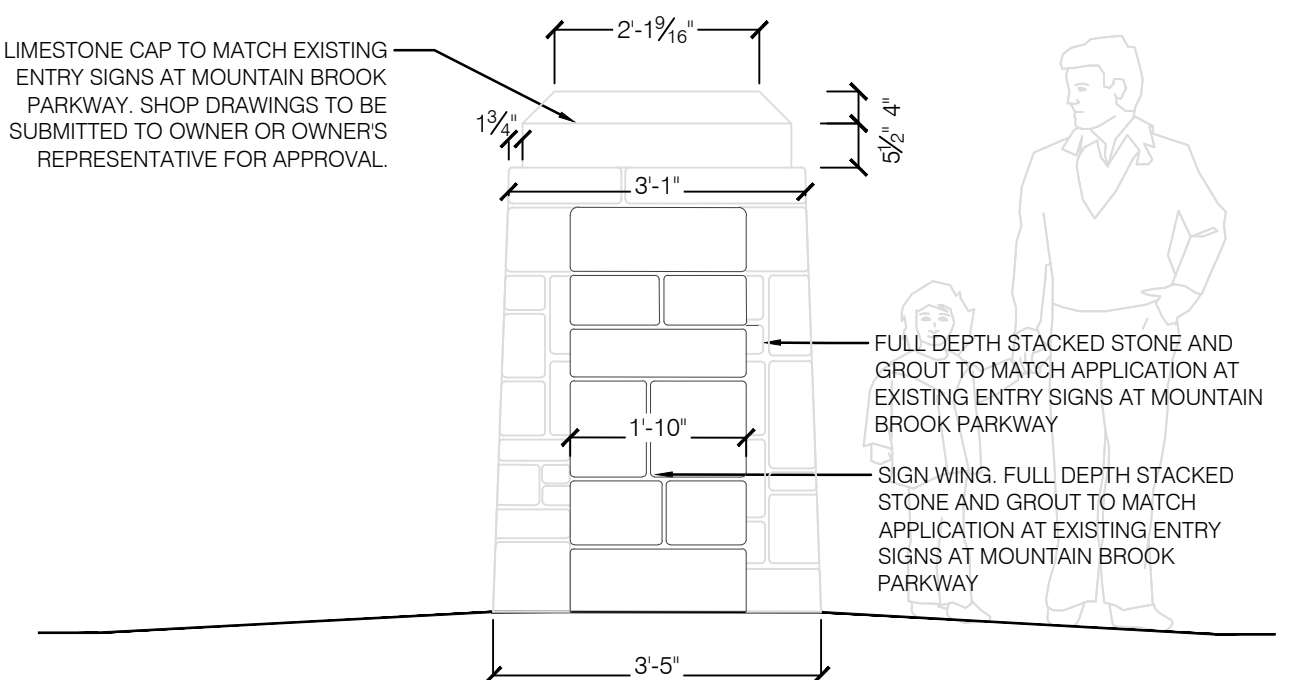
05 TOP PLAN SECTION

1/2" = 1"



08 SIGN @ MOUNTAIN BROOK PARKWAY

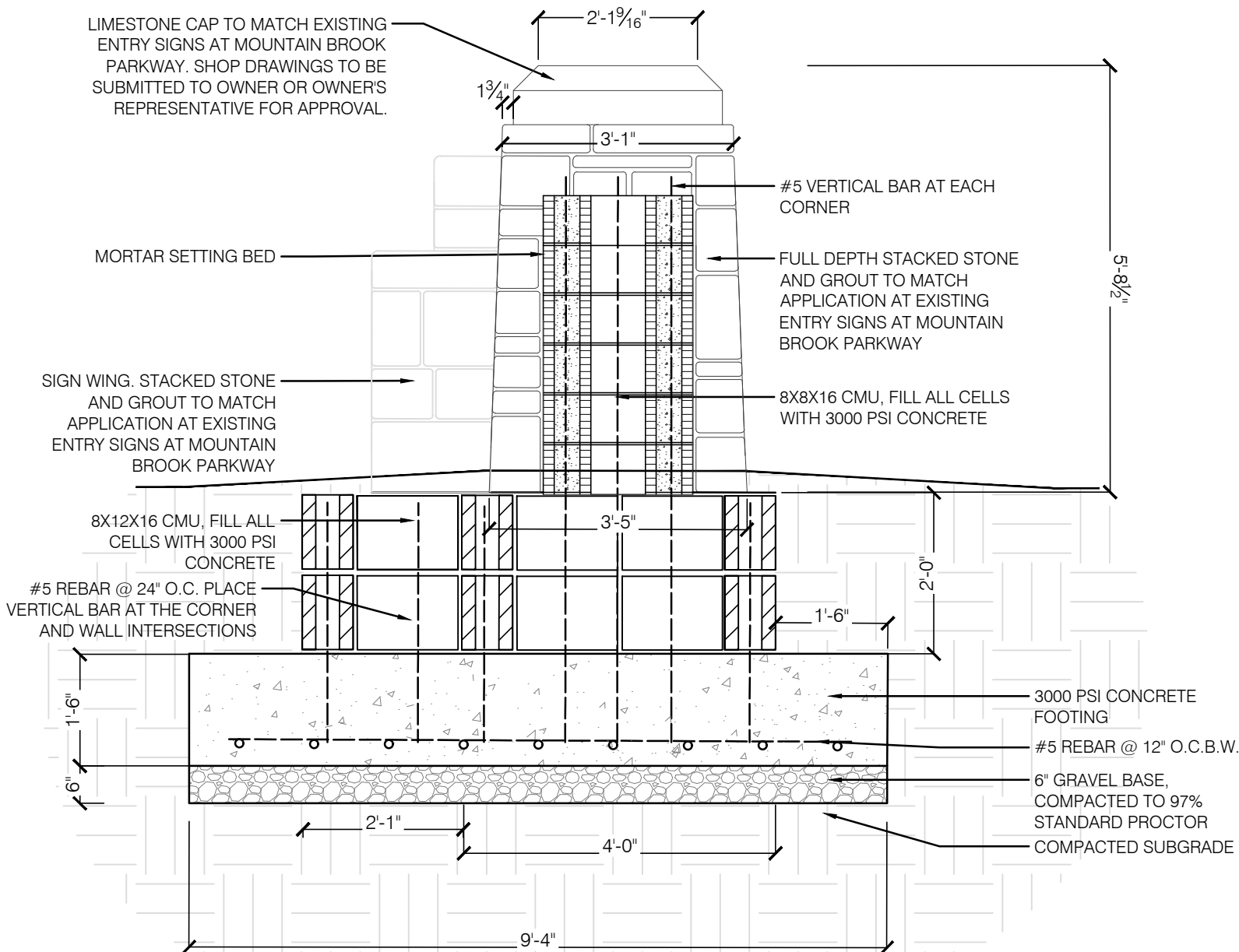
NOT TO SCALE



03 SIDE ELEVATION

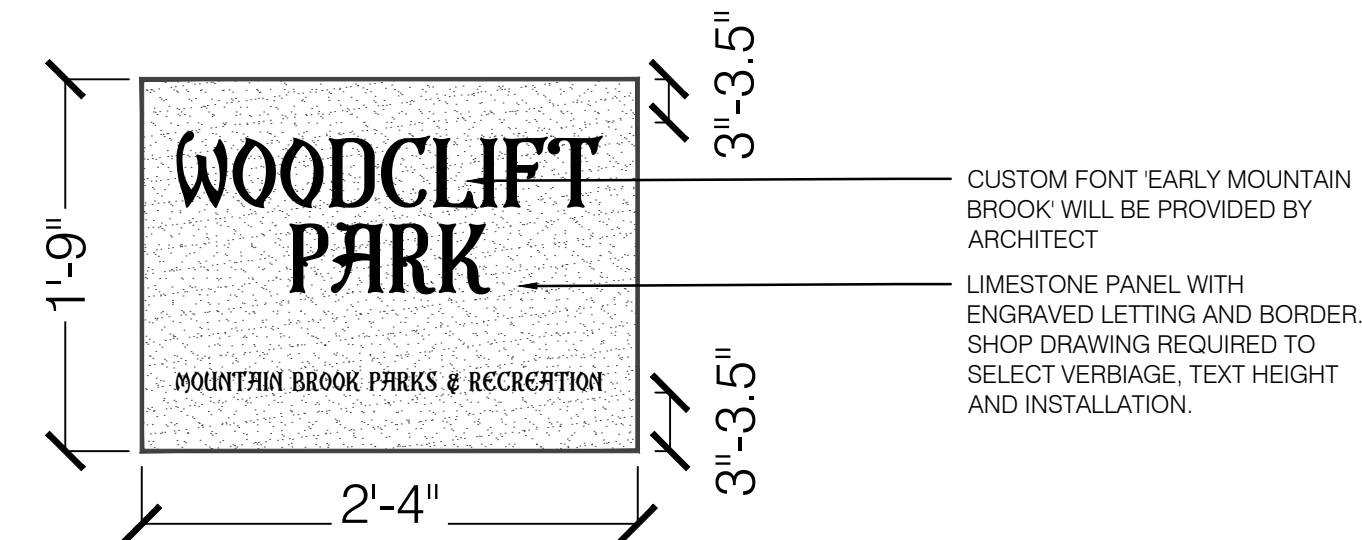
1/2" = 1"

DETAIL-FILE



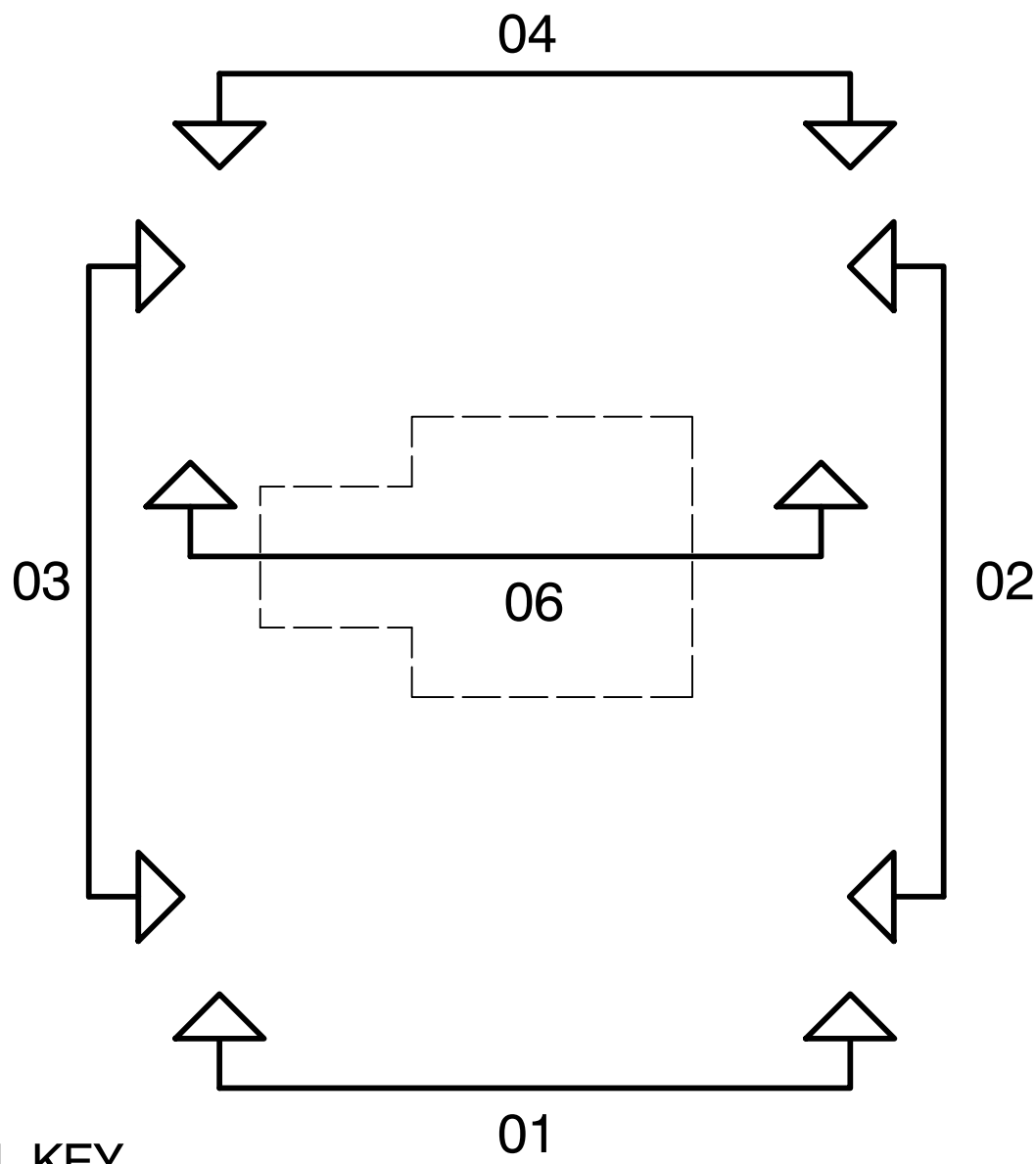
06 SECTION ELEVATION

1/2" = 1"



10 LIMESTONE PANEL

NTS



DETAIL KEY

SIGN NOTES:

- SIGN LAYOUT TO BE STAKED OUT ON SITE AND FIELD APPROVED PRIOR TO BEGINNING CONSTRUCTION.
- STONE TYPE TO BE APPROVED BY OWNER/ARCHITECT PRIOR TO ORDER AND INSTALLATION. OWNER/ARCHITECT VISIT TO STONE YARD MAY BE REQUIRED AND/OR SAMPLES DELIVERED TO OWNER TO ORDER AND INSTALLATION.
- MORTAR COLOR TO BE APPROVED BY OWNER/ARCHITECT PRIOR TO ORDER AND INSTALLATION.
- SHOP DRAWINGS FOR LIMESTONE CAP AND SIGN PANEL MUST BE SUBMITTED FOR APPROVAL PRIOR TO ORDER AND INSTALLATION. SHOP DRAWINGS MUST INCLUDE 3 FONT OPTIONS FOR VERBIAGE.
- SIGN ELEVATION TO BE 6" ABOVE CURB. SLOPE GRADE AWAY FROM SIGN. PROVIDE 4" DEPTH OF TOPSOIL.

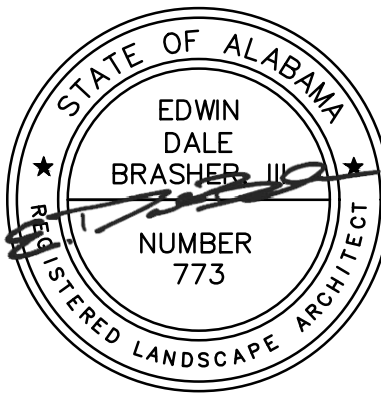
brasher

PLANNING | LANDSCAPE ARCHITECTURE | ARCHITECTURAL DESIGN

The City of
MOUNTAIN BROOK

WOODCLIFT PARK SIGN

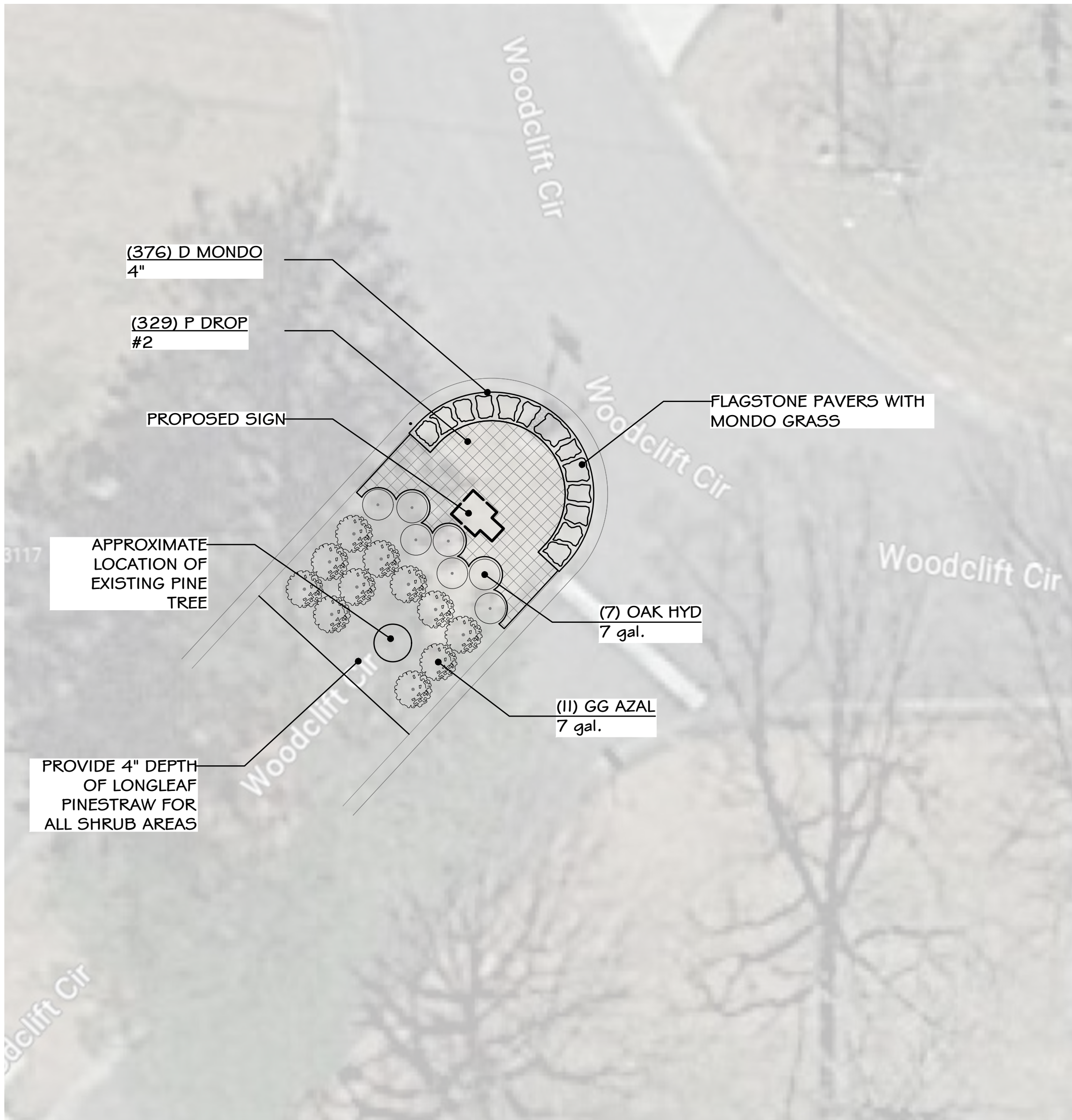
WOODCLIFT ROAD, MOUNTAIN BROOK, AL



SUBMITTAL	DATE
For Review	6/20/23
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IFC SET	02/20/24

SIGN DETAILS

SD1.00

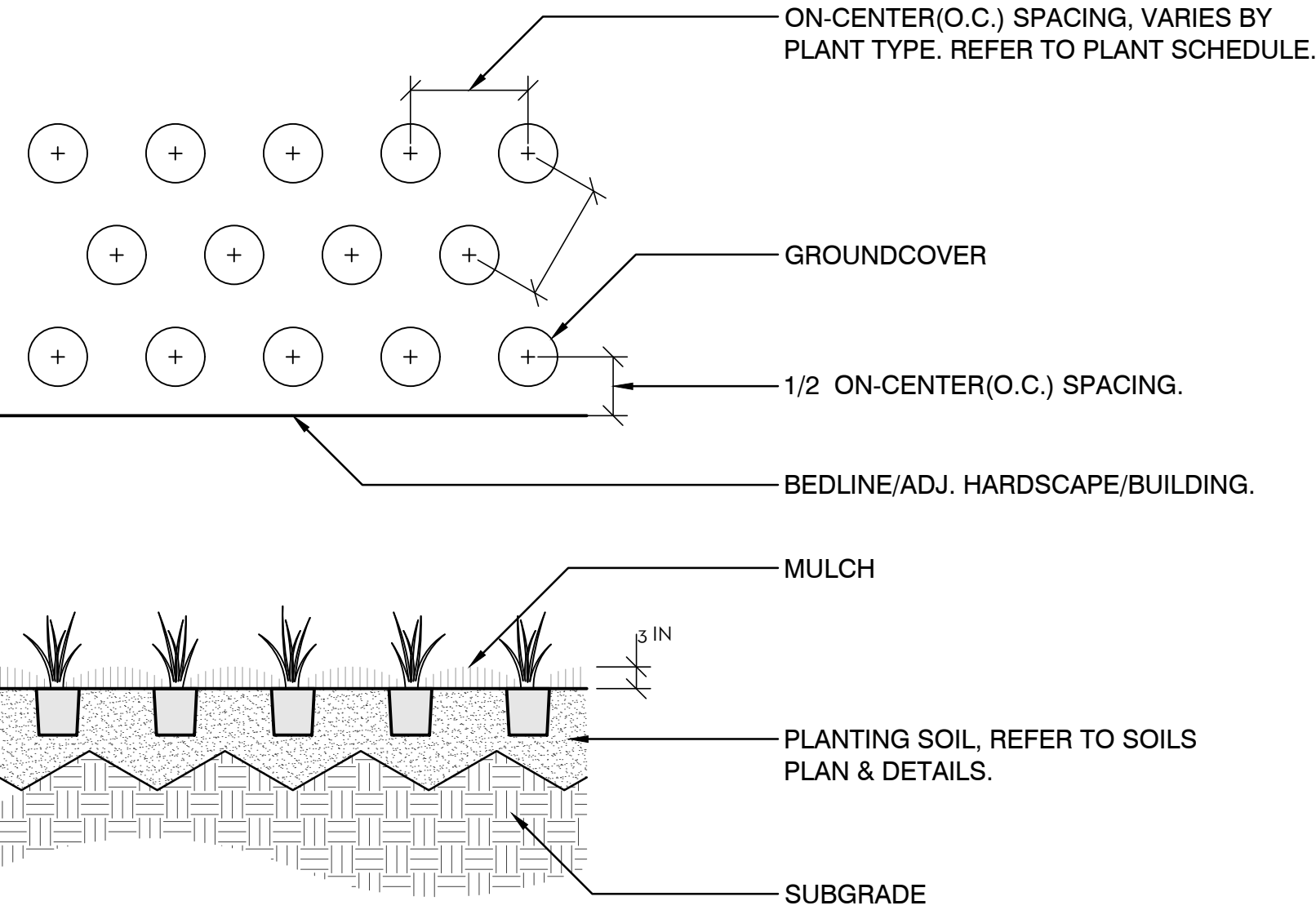


1 LANDSCAPE PLAN

1" = 10'-0"

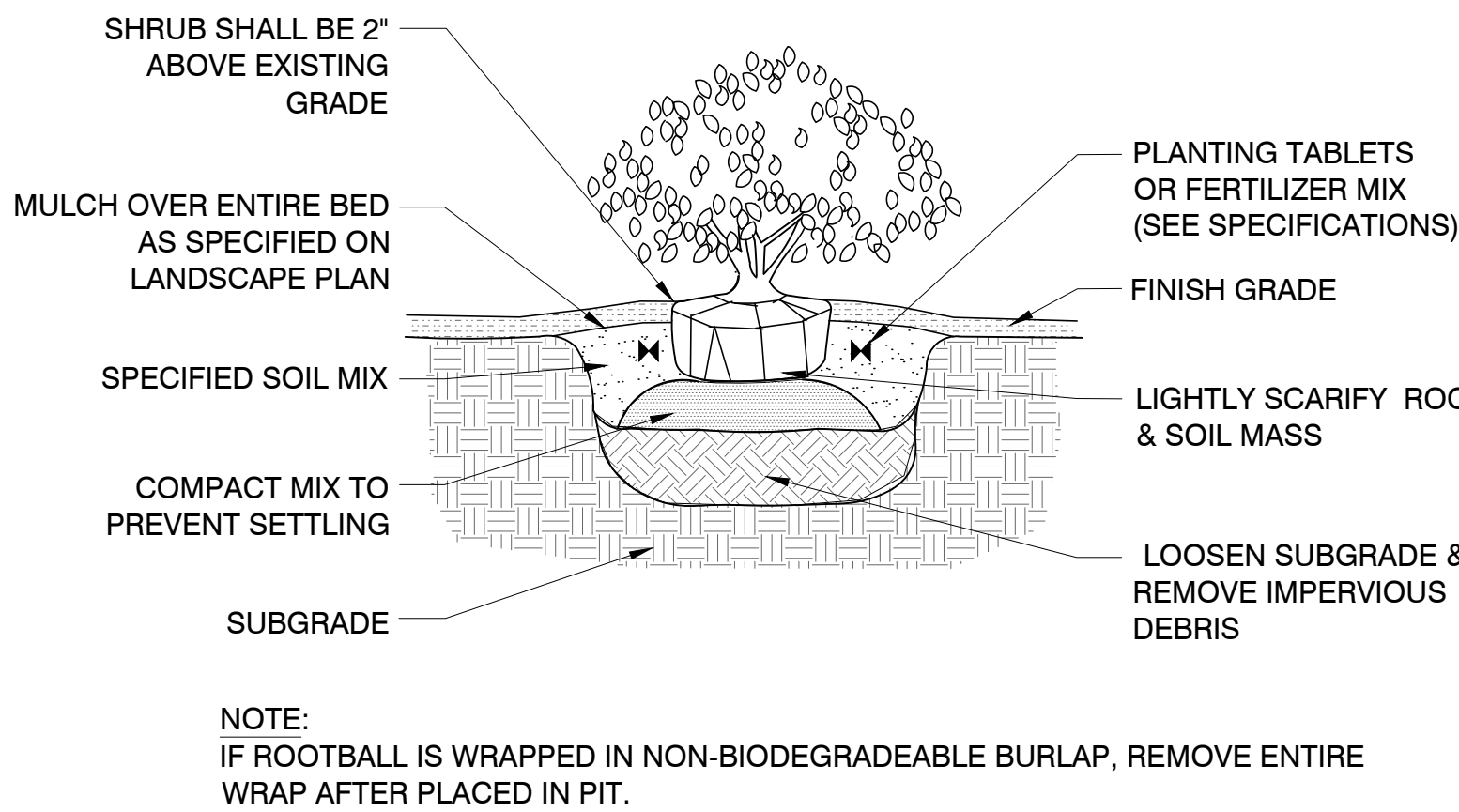
PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS
SHRUBS							
	GG AZAL	Azalea indica 'Mrs. G.G. Gerbing' / Mrs. G.G. Gerbing Indica Azalea	7 gal.		11		
	OAK HYD	Hydrangea quercifolia 'Munchkin' / Munchkin Oakleaf Hydrangea	7 gal.		7		
GROUND COVERS							
	D MONDO	Ophiopogon japonicus 'Dwarf' / Dwarf Mondo Grass	4"	Pot	4" o.c.	376	
	P DROP	Sporobolus heterolepis 'Tara' / Tara Prairie Dropseed	#2	Plug	10" o.c.	325	



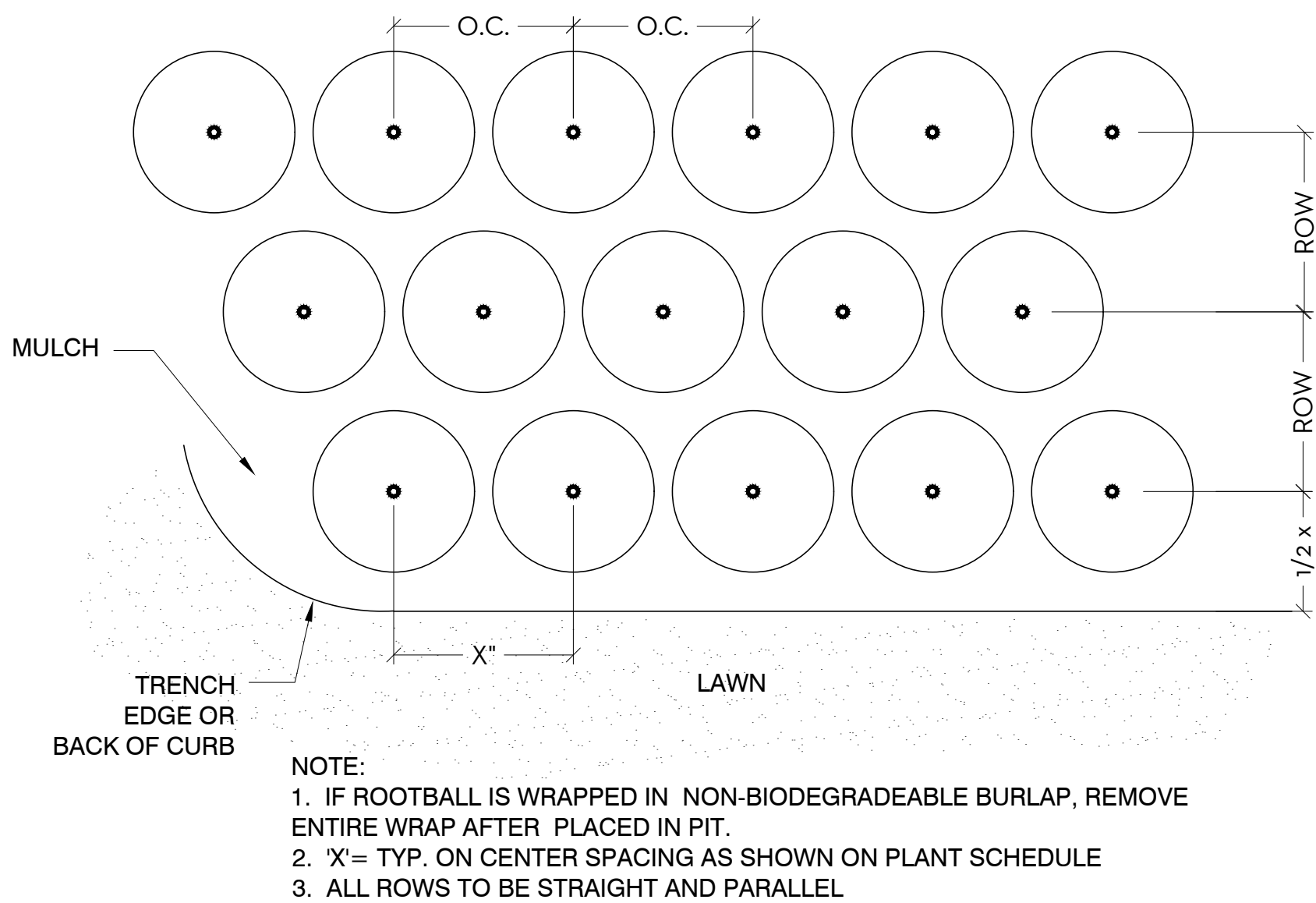
2 DETAIL: GROUNDCOVER & PERENNIAL PLANTING

N.T.S.



3 DETAIL: TYP. SHRUB PLANTING

NTS



4 PLAN: TYP. PLANT MASS SPACING

NTS

LANDSCAPE NOTES

- Contractor to carefully examine the contract documents and existing conditions before submitting bid proposal or commencing work.
- Contractor shall verify the total quantities indicated on the plant schedule with the quantities shown on the plan. Contractor shall provide the quantities required to complete the proposed planting as indicated on the plan.
- Damage to existing utilities or site improvements caused by the contractor are the full responsibility of contractor.
- Contractor's base bid to include all materials, labor, permits, equipment, tools, insurance, ETC. to perform the work as described in the contract documents.
- Contractor to complete work within schedule established by owner.
- Contractor to provide one year warranty for all material from date of substantial completion.
- Provide unit price for all materials (installed cost) listed on the Tree Schedule and Reference Note Schedule.
- Contractor to provide maintenance for 2 years for existing and proposed trees along the trail (watering, pruning, fertilizing, guying, trimming, weeding, mulching, and application of insecticides/herbicides).
- Perform work in compliance with all applicable laws, codes, and regulations required by authorities having jurisdiction over such work and provide for permits required by local authorities.
- Topsoil shall be natural, fertile, friable, sandy clay loam capable of sustaining plant growth, free of stones, stumps, ETC.
- Replace grass damaged by installation.
- All planted material shall be equivalent in quality to specimen grade or better, as noted by the American Association of Nurserymen, latest edition. All trees of lesser quality shall be rejected by the city arborist.
- Plant material to be free of disease, insect pests, eggs, or larvae. Damaged plant material shall be rejected.
- Mulch to be clean, fresh, new, long-needle pine straw, 4" deep.
- Test plant beds and plant pits for adequate drainage. Work shall be made by the contractor at no additional cost to owner. Hardpan or moisture barriers shall be broken, or drain pipes to be installed to provide proper drainage of plant areas. Plant pits shall be excavated to the bottom of the pit. Fill each plant pit with water and observe the pit for 2 hours. If the water has not dissipated by 50% within 2 hours, notify the landscape architect of such in writing before installing plants in the questionable area(s), otherwise contractor shall be held liable for the livability of the plant. In hardpan conditions where water does not drain within 2 hours, install drain pipes as per tree planting in compacted soil area detail.
- Plant beds shall be neatly edged using a 3" wide by 6" deep trench. Provide 2/1 side slope behind trench edge.
- Set all plants plumb and turned so that the most attractive side is viewed.
- Plants shall be measured to their main structure, not tip to tip of branches.
- Remove top one-third burlap of B & B wrapping. Remove all binding. If rootball is wrapped in non-biodegradeable burlap, remove entire wrap after placed in pit.
- Remove burlap and any binding off existing oaks that were not removed in their installation.
- Tree pit and shrub pit to be twice the size of the root mass. Fill with plant mix. See details.
- Broken root balls for trees shall be rejected.
- Any plant materials shipped to site in uncovered vehicles/ trailer shall be rejected regardless of season.
- All shrubs to be dense and full.
- Scarify root mass of shrubs and ground cover before installing.
- Remove all excess growth of trees and shrubs as directed by landscape architect. Do not cut central leader.
- Layout all plant material according to landscape drawings. Receive approval of all layouts before installation. Adjustments to the layout shall be made by the landscape architect. Landscape contractor to make adjustments to layout at no additional cost to the owner. Landscape contractor responsible for adjustment of layout in order to avoid utilities. Notify landscape architect of contemplated adjustments to the layout and receive approval before commencing.
- Owner or landscape architecture shall review project at completion of installation for substantial completion. Final completion shall be given at the end of the warranty period if all items are completed to the owner's satisfaction. Contractor shall be notified in writing of substantial and final completion dates.
- Characteristics of topsoil to be furnished:
 - Fertile, friable, naturally occurring. Free of stones, clay, lumps, hardpan, roots, stumps, branches, sticks and other debris larger than two (2) inches in any dimension; free of noxious weeds, grasses, seeds, plants, extraneous matter and any substance harmful to plant growth. Topsoil from open fields will not be accepted.
 - Ph: 5.0 to 7.0
 - Organic Matter: 5% to 10%
 - Sand: 50% to 70%
 - Silt: less than 30%
 - Clay: 10% to 25%
 - Permeability Rate of 5 x 10 <-3> centimeters or greater at 85% compaction.
- Contractor shall collect three (3) soil samples of existing soil from areas on site to receive planting for testing. Each soil sample shall be approximately 1 kg. (1 gal. zip lock bag) in volume and will receive the following tests by soil testing lab approved in advance by Engineer, by this Contractor at his expense:
 - s1-a
 - s3
 - texture analysis
 - infiltration

SUBMITTAL	DATE
For Review	6/20/23
For Review	8/17/23
100% SET	10/02/23
IFC SET	02/20/24

To: City Council
From: Shanda Williams, Park and Recreation Board
Date: March 20, 2024
Subject: **New Park Sign Design & Woodclift Park Sign**

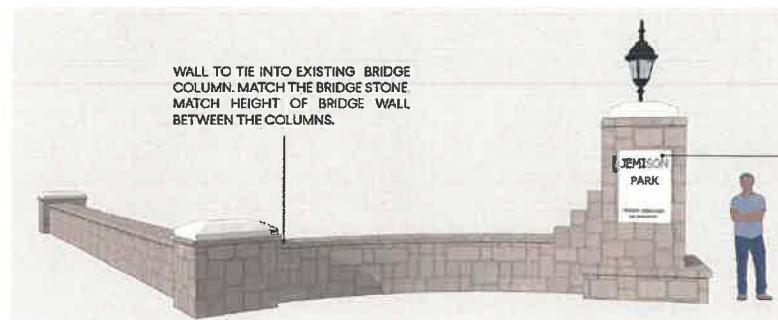
I think most of you are aware that the Park Board has been working on a new park sign design. We wanted to update the old wooden engraved signs to a new sign that would be more timeless and fit in with the Mountain Brook aesthetic more. A committee from the Park Board worked with Dale Brasher from Brasher Design Studio and developed a hierarchy of signs to use in our parks. Each park will get a unique sign to fit its size and personality, but each one will have the same set of characteristics that will define it as a Mountain Brook park. The inspiration for these signs came from the columns that framed the original entrances to Mountain Brook.



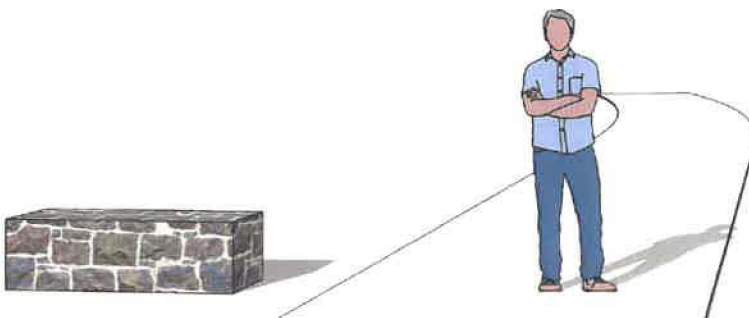
The repeating characteristics will be that it will have a column and a wing/seat wall, an engraved limestone sign and cap, and be made of stone. Dale was also able to develop a unique font for the sign that mimics the font on the original signs as well. It will also be used on all the park signs.



These are examples of some variations of the park signs that we may try to incorporate in some parks:



Materials: Limestone caps, stone to match existing Mountain Brook entry signs, electric lantern fixture atop column, engraved limestone



The first park sign to be built will be one for Woodclift Park which is a micro park we created a few years ago located on Woodclift Circle off of Dolly Ridge Road. This will be a small sign and a good starting point for this conversion. I have attached the latest renderings for that sign to this summary. We have not finalized the landscape plan, but the Park Board has all agreed with the specifications for the sign. The police department did not have any issues with it from a sight distance and safety perspective. I have shared it with the neighbors and so far the feedback has been positive.

If everyone likes the new sign design, I will continue working on the plans for the Woodclift Park sign. I have money budgeted for this sign and will bring a contract back to the council for approval once we have all the details finalized.

Documents to be provided at a later date