

# BZA Packet

October 14, 2019

**Hello All,**

Enclosed please find your packet for the meeting of October 21, 2019.

In addition to the variance cases, we will welcome our new BZA supernumerary member (Scott Boomhover) and we will elect a new co-chair.

**We have:**

- 1 carry over case
- 3 new cases

If you receive any citizen inquiries regarding these cases the proposed plans may be viewed by going to:

[www.mtnbrook.org](http://www.mtnbrook.org)

- Calendar (upper right corner)
- Board of Zoning Adjustment (October 21, 2019)
- Meeting Information (for agenda) and Supporting Documents (to view proposed plans and/or survey select link associated with the case number)

If you have any questions about the cases please don't hesitate to give me a call at 802-3816 or send me an email at [hazend@mtnbrook.org](mailto:hazend@mtnbrook.org) ...

**Looking forward to seeing you on Monday!**

*Dana*

**MEETING AGENDA**  
**CITY OF MOUNTAIN BROOK**  
BOARD OF ZONING ADJUSTMENT  
OCTOBER 21, 2019

PRE-MEETING: (ROOM A106) 4:30 P.M.

REGULAR MEETING: (ROOM A108) 5:00 P.M.

CITY HALL, 56 CHURCH STREET, MOUNTAIN BROOK, AL 35213

**NOTICE**

*Any variance which is granted today expires and becomes null and void one year from today unless construction is begun in less than one year from today on the project for which the variance is granted. If construction will not be started within one year from today, the applicant may come back in 11 months and ask for a six-month extension, which the Board normally grants.*

*Any variance which is granted, regardless of the generality of the language of the motion granting the variance, must be construed in connection with, and limited by, the request of the applicant, including all diagrams, plats, pictures and surveys submitted to this Board before and during the public hearing on the variance application.*

- 
1. Approval of Minutes: September 16, 2019
  2. **Case A-19-22:** Edward Goodwin, property owner, requests variances from the terms of the Zoning Regulations to allow a new single family dwelling to be 15 feet from the rear setback (north) in lieu of the required 40 feet. - **2504 Country Club Circle.** (*Carried over from the August 19, 2019 and the September 16, 2019 meetings.*)
  3. **Case A-19-36:** Rob and Eleanor Nielson, property owners, request variances from the terms of the Zoning Regulations to allow additions and alterations to an existing detached accessory structure that is 3.9 feet from the side property line (southwest) and 0-10 feet from the rear property line (northwest) in lieu of the required 10 feet. - **2919 Surrey Road**
  4. **Case A-19-37:** Bundi Reynolds, property owner, requests variances from the terms of the Zoning Regulations to allow a new single family dwelling to be 25 feet from the rear property line (southeast) in lieu of the required 30 feet, and for two second floor dormer windows to be 15 feet from the secondary front property line (Elm Street) in lieu of the required 17 feet. -**201 Dexter Avenue**
  5. **Case A-19-38:** Robert and Martha Haley, property owners, request a variance from the terms of the Zoning Regulations to allow a covered porch to be 26.1 feet from the rear property line in lieu of the required 40 feet. -**104 Pine Ridge Circle**
  6. Next Meeting: November 18, 2019
  7. Adjournment



## Variance Application - Part I

### Project Data

Address of Subject Property 2504 Country Club Circle

Zoning Classification Residence A

Name of Property Owner(s) Mr. and Mrs. Ed Goodwin

Phone Number 205-616-3745 (c) Email regooo@aol.com

Name of Surveyor Weygand Surveyors

Phone Number 205-942-0086 Email ray@weygandsurveyor.com

Name of Architect (if applicable) Hank Long/ Henry Sprott Long & Associates, Inc.

Phone Number 205-323-4564 Email hanklong@bellsouth.net

Property owner or representative agent must be present at hearing

Please **fill in only applicable** project information (relating directly to the variance request(s):

	Zoning Code Requirement	Existing Development	Proposed Development
Lot Area (sf)	30,000 sq. ft.	19,326 +/- sq. ft.	19,326.0 sq. ft.
Lot Width (ft)	100.0'	160.82'	160.82'
Front Setback (ft) <i>primary</i>	40.0'	39.9'	40.0'
Front Setback (ft) <i>secondary</i>	NA	NA	NA
Right Side Setback	40.0'	39.8'	40.0'
Left Side Setback	15.0'	43.4'	15.0'
Right Side Setback (ft): For non-conforming narrow lots in Res-B or Res-C: Less than 22' high → 22' high or greater →	NA	NA	NA
Left Side Setback (ft): For non-conforming narrow lots in Res-B or Res-C: Less than 22' high → 22' high or greater →	NA	NA	NA
Rear Setback (ft)	40.0'	21.0' +/-	15.0'
Lot Coverage (%)	25%	16.5% +/-	24% +/-
Building Height (ft)	35.0'	20.0' +/-	33.0' +/-
Other			
Other			

Henry Sprott Long & Associates  
ARCHITECTS

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September 25, 2019

Board of Zoning Adjustments  
The City of Mountain Brook  
Post Office Box 13009  
Mountain Brook, AL 35213

ATTENTION: Dana Hazen

RE: A Proposed New Residence for Mr. and Mrs. Ed Goodwin  
Case No. A-19-22

Ladies and Gentlemen:

This letter is submitted in accordance with the standards for request of a variance for construction in the City of Mountain Brook.

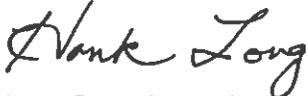
We propose to build a new residence on the non-conforming parcel at 2504 Country Club Circle. The existing residence will be removed. We are requesting a variance at the rear setback to allow the new residence to be 15'-0" from the rear property line rather than the required 40'-0" feet. The new residence will meet all of the other requirements for Residence "A" zoning. This non-conforming parcel does not have the required lot area to meet Residence A zoning requirements and the parcel is also a corner lot.

Four copies of the graphic explanation of the proposed residence, as shown on the attached drawing/ Site Plan, are included. The list of the adjacent property owners and \$ 100.00 check to cover the hearing fee were submitted with the initial variance request which was heard on August 19, 2019 as Case No. A-19-22. All information is submitted in preparation for the zoning board meeting on Monday, October 21, 2019.

Thank you for your consideration in this matter.

Sincerely,

HENRY SPROTT LONG & ASSOCIATES, INC.



Henry Sprott Long, Jr., President

HSLjr/ab

Enclosures

cc: Mr. and Mrs. Ed Goodwin

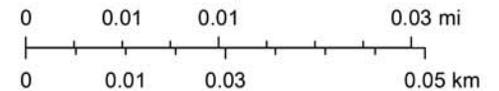
# A-19-22 Zoning



8/8/2019, 11:03:46 AM

Tax\_Parcels  Residence A District  
0  Rec-2

1:1,128



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS,

Web AppBuilder for ArcGIS  
Hunter Simmons | Esri, HERE, Garmin, INCREMENT P, USGS, EPA, USDA |

## Report to the Board of Zoning Adjustment

### A-19-22

#### ***Petition Summary***

Request to allow a new single family dwelling to be 15 feet from the rear setback (north) in lieu of the required 40 feet.

#### ***Analysis***

The hardships in this case are the corner lot configuration and the lot size (19, 326 sf in lieu of the required 30,000 sf). As may be seen on the attached aerial, the house on the adjoining property to the north is located to the *northeast* of the subject house (approx. 100-foot separation), such that the entire subject lot is forward/west of the house on the adjoining lot. As such, any approval of this variance request would not hinder the flow of light and air to the adjoining property as presently developed.

Alternately, the property to the north could be developed to within 15 feet of the subject property, so the common property line between it and the subject property “acts” more like a side property line than a rear. The required side setback for Res-A is 15 feet.

#### ***Impervious Area***

The proposal is in compliance with the allowable impervious surface area.

#### ***Subject Property and Surrounding Land Uses***

The property contains a single-family dwelling, and is surrounded by same.

#### ***Affected Regulation***

Article III, Residence A District; Section 129-34, Area and Dimensional Requirements

#### ***Appends***

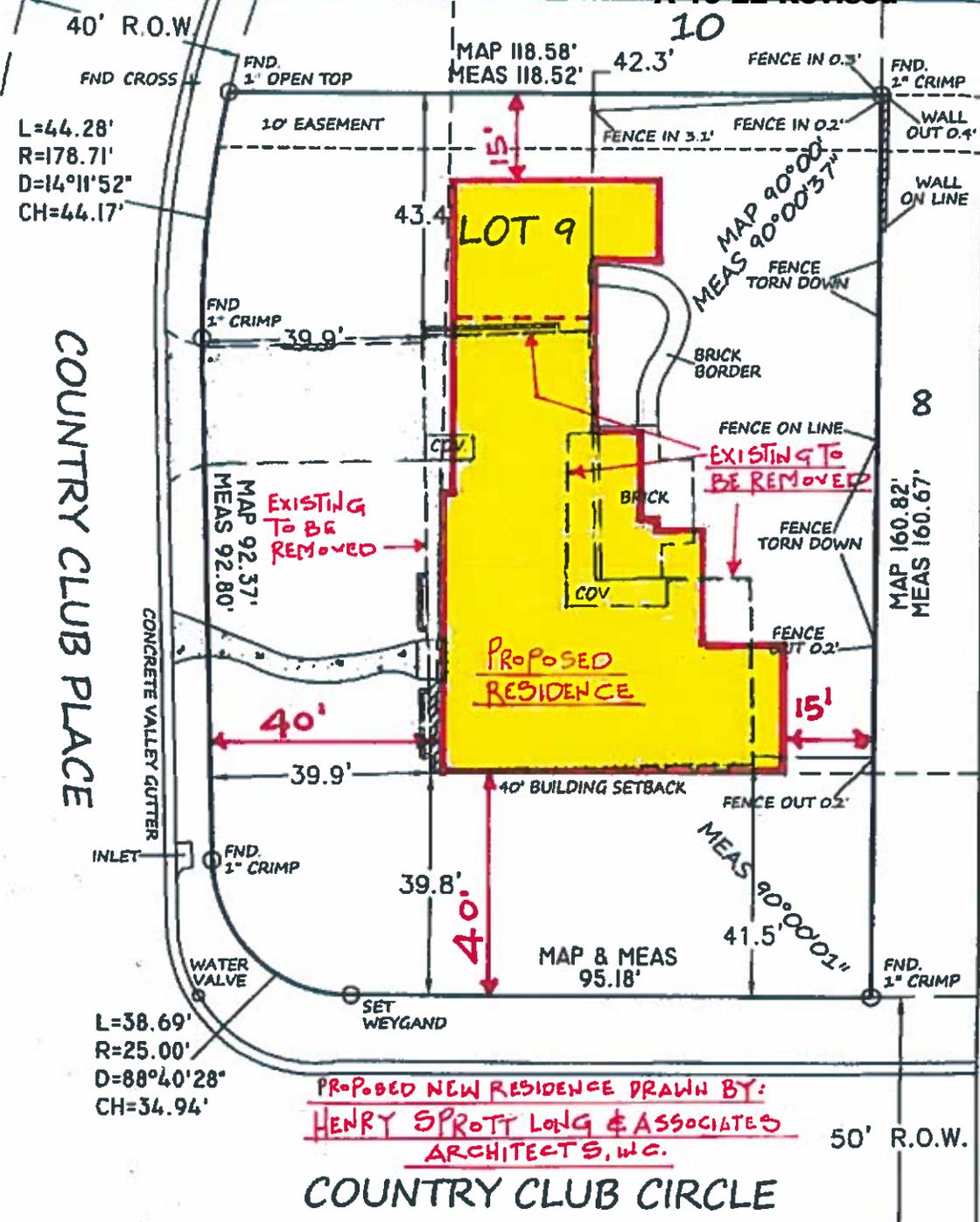
LOCATION: 2504 Country Club Drive

ZONING DISTRICT: Res-A

OWNER: Edward Goodwin

LEGEND

ASP	ASPHALT
BLDG	BUILDING
CALC	CALCULATED
MEAS	MEASURED
CH	CHORD
LNG	LONG CHORD
d	DEFLECTION
Δ	DELTA
ESMT	EASEMENT
HW	HEADWALL
MN	MINIMUM
MH	MANHOLE
OH	OVERHANG
POR	PORCH
R	RADIUS
R.O.W.	RIGHT OF WAY
SAN	SANITARY
STM	STORM
UTIL	UTILITY
AC	ACRES
S.F.	SQUARE FEET
CL	CENTERLINE
A/C	AIR CONDITIONER
o	POLE
—x—	ANCHOR
—x—	FENCE
—x—	OVERHEAD UTILITY WIRE
PWMT	PAVEMENT
W/	WITH
TAN	TANGENT
RES	RESIDENCE
LG	LIGHT
COV	COVERED
■	DECK
●	CONCRETE
■	WALL
□	COLUMN



SCALE: 1"=30'

STATE OF ALABAMA  
JEFFERSON COUNTY

"Property Boundary Survey"

I, Ray Weygand, a Registered Land Surveyor, hereby certify to the purchaser of this property at this time, that I have surveyed Lot 9, GRASSMERE ESTATES BEING A RESURVEY OF LOTS 1, 2 AND 3, GRASSMERE SURVEY, as recorded in Map Volume 51, Page 22, in the Office of the Judge of Probate, Jefferson County, Alabama. I hereby state that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information and belief according to my survey of MARCH 3, 2019. Survey invalid if not sealed in red.

Order No.: 2832  
Purchaser:  
Address: 2504 COUNTRY CLUB CIRCLE

*Ray Weygand*  
Ray Weygand, Reg. L.S. #24973  
169 Oxmoor Road Homewood, AL 35209  
Phone: (205) 942-0088 Fax: (205) 942-0087  
Copyright ©

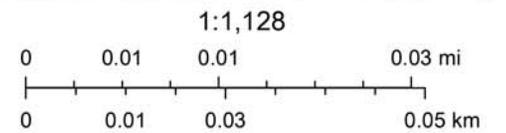


Note: (a) No title search of the public records has been performed by this firm and land shown hereon was not abstracted for easements and/or rights-of-way, recorded or unrecorded. The parcel shown hereon is subject to setbacks, easements, zoning, and restrictions that may be found in the public records of said county and/or city. (b) All bearings and/or angles, are deed/record map and actual unless otherwise noted. (c) Underground portions of foundations, footings, and/or other underground structures, utilities, cemeteries or burial sites were not located unless otherwise noted. (d) The shown north arrow is based on deed/record map. (e) This survey is not transferable. (f) Easements not shown on recorded map are not shown above.

# A-19-22 Aerial



8/8/2019, 11:06:40 AM



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus

Web AppBuilder for ArcGIS  
Hunter Simmons | DigitalGlobe, Microsoft |

Attachment to the Variance Application for Mr. and Mrs. Ed Goodwin

**What special circumstances or conditions, applying to the building or land in question, are peculiar to such building or land, and do not apply generally to other buildings or land in the vicinity (including size, shape, topography, location or surroundings)?**

We wish to remove the existing residence and build a new residence on this lot which is zoned Residence A. The existing lot is non-conforming because it is 19,326.0 +/- square feet rather than the required 30,000.0 square feet. In addition, the property is a corner lot which requires 3 40'-0" setbacks. This, combined with the non-conforming lot area, creates a hardship because of the very restrictive buildable area remaining after meeting the setbacks on the non-conforming lot area.

**Was the condition from which relief is sought of action by the applicant? (i.e. self-imposed hardship such as: "...converted existing garage to living space and am now seeking a variance to construct a new garage in a required setback...")**

The applicant did not create the non-conforming lot so the request is not a result of an action by the applicant.

**How would the granting of this variance be consistent with the purpose and intent of the Zoning Regulations?**

The only variance that the applicant is requesting is at the rear setback, which is required because of the non-conforming lot area and relatively shallow front to rear property depth. Otherwise, the new residence shall meet all of the other requirements for Residence "A" zoning. Note the existing residence is approximately 21.0' from the rear property line. Therefore, the granting of a variance would be consistent with the purpose and intent of the Zoning Regulations because it would address the hardship caused by the non-conforming lot area and corner lot restrictive set back configuration.



## Variance Application - Part I

### Project Data

Address of Subject Property 2919 SURREY ROAD  
 Zoning Classification RES. 'A'  
 Name of Property Owner(s) ELEANOR & BOB NIELSEN  
 Phone Number (603) 397-0800 Email ELEANORNIELSEN@gmail.com  
 Name of Surveyor ROBERT REMOLDS  
 Phone Number (205) 823-7900 Email REMOLDSURV@SBC<sup>BELLSOUTH</sup>.COM  
 Name of Architect (if applicable) JAMES LAUGHMAN  
 Phone Number (205) 807-7814 Email JIMMY@JAMESBLAUGHMAN.COM

Property owner or representative agent must be present at hearing

Please fill in only applicable project information (relating directly to the variance request(s)):

	Zoning Code Requirement	Existing Development	Proposed Development
Lot Area (sf)		20000	-
Lot Width (ft)		80	-
Front Setback (ft) <i>primary</i>		.	-
Front Setback (ft) <i>secondary</i>			-
Right Side Setback			-
Left Side Setback		15	existing
Right Side Setback (ft): For non-conforming narrow lots in Res-B or Res-C: Less than 22' high → 22' high or greater →			-
Left Side Setback (ft): For non-conforming narrow lots in Res-B or Res-C: Less than 22' high → 22' high or greater →			-
Rear Setback (ft)		40 (10)	(10)
Lot Coverage (%)		<del>40</del> 29%	29.02%
Building Height (ft)		-	16 FT
Other			
Other			

**JAMES B. LAUGHLIN**

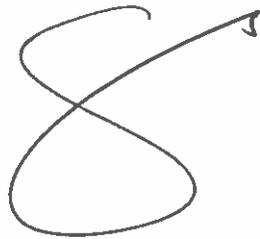
August 23, 2019

To whom it may concern,

I am writing on behalf of property owners, Eleanor and Rob Nielson. We are proposing an addition to an existing non-conforming accessory structure at the rear of 2919 Surrey Road.

The scope of work includes renovating a bedroom and bathroom in the existing structure and adding a living room. The total heated square footage is 539 and the addition is 10 feet from the rear property line.

Best regards,  
Jimmy Laughlin

A handwritten signature in black ink, appearing to be 'JL' or a stylized 'J' with a loop, positioned below the typed name.

10/10/2019

City of Mountain Brook Mail - Re: 2919 Surrey variance



City of  
Mountain Brook

Dana Hazen <hazend@mtnbrook.org>

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**Re: 2919 Surrey variance**

1 message

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Jimmy Laughlin <jimmy@jamesblaughlin.com>  
To: Dana Hazen <hazend@mtnbrook.org>

Wed, Oct 9, 2019 at 7:30 PM

Hi Dana,

There will be a new roof over the addition only, the existing roof is to remain. There will be new framing in the existing portion at the bathroom and closet areas.

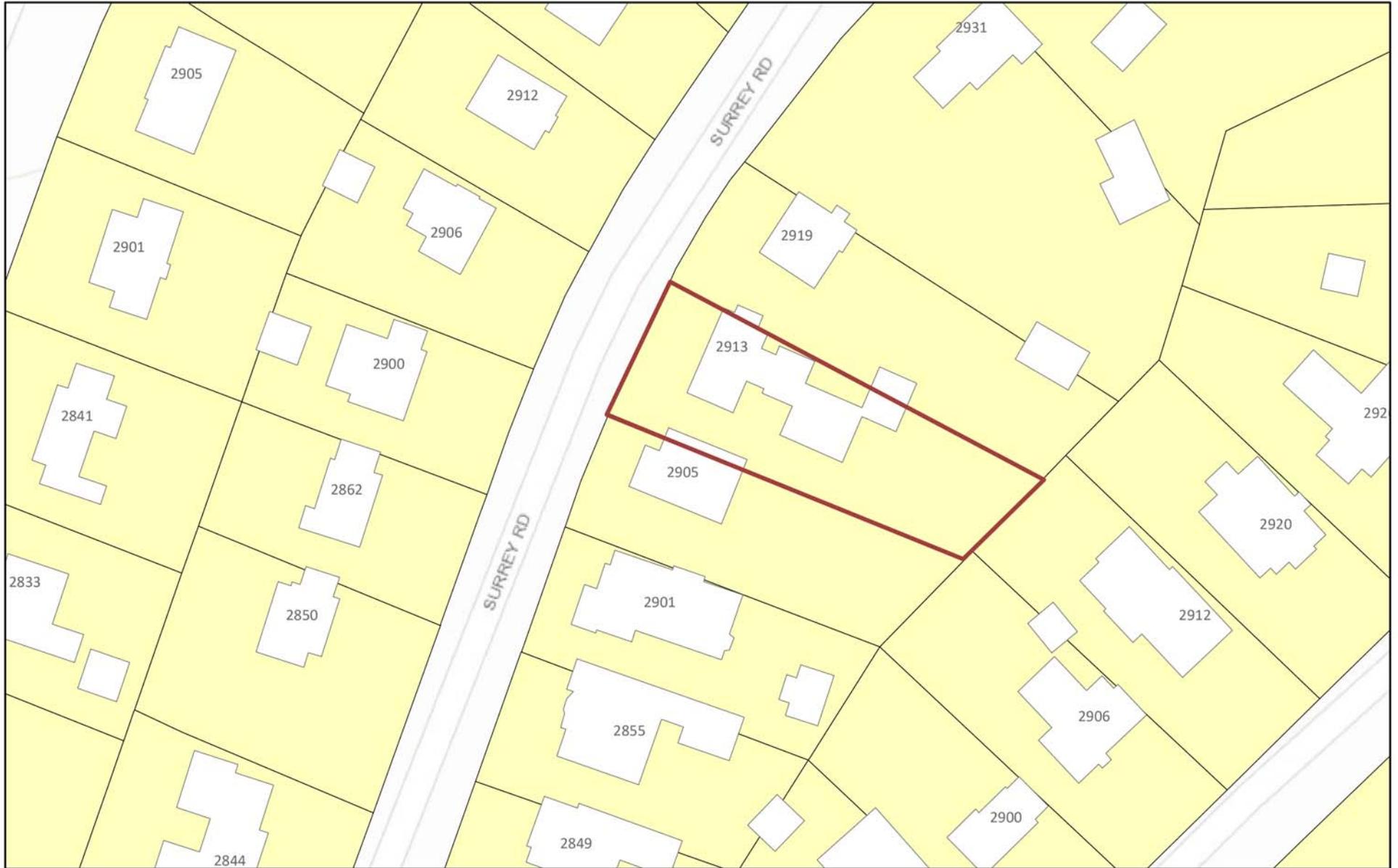
We are opting to remove the shed as it does not conform. The addition/ living room is 10 ft from the rear line. I received verbal approval from Glen regarding the corner of the existing building that encroaches the power easement, it appears to be a few inches.

It is my understanding that the whole structure will need to be sprinkled.

Please let me know if you would like to discuss over the phone or in person tomorrow.

Thanks,  
Jimmy

# A-19-36 Zoning

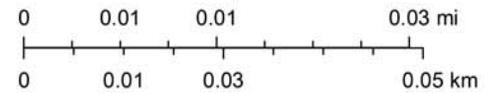


10/14/2019, 5:38:34 PM

Tax\_Parcels

 Residence A District

1:1,128



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS,

Web AppBuilder for ArcGIS  
Esri, HERE, Garmin, INCREMENT P, USGS, EPA, USDA | Hunter Simmons |

## Report to the Board of Zoning Adjustment

### A-19-36

#### ***Petition Summary***

Request to allow additions and alterations to an existing detached accessory structure that is 3.9 feet from the side property line (southwest) and 0-10 feet from the rear property line (northwest) in lieu of the required 10 feet.

#### ***Analysis***

The hardships in this case are the lot size (15,000 in lieu 30,000), the lot width (80 feet in lieu of the required 100 feet), the irregular shape of the lot, and the existing design constraints. The existing detached accessory building encroaches to the rear property line (see "existing storage" on the attached floor plan).

The proposal is to add a living room to the detached building (new roof is proposed over this addition, but not over the existing portion). The new addition will not encroach into the required 10-foot rear setback. New framing is proposed in the existing portion (closet and bathroom). The storage portion of the existing structure is to be removed, improving rear setback compliance. The detached building is proposed to be less than 625 square feet; therefore it is permitted within 10 feet of the side and rear property lines.

#### ***Impervious Area***

The proposal is not in compliance with the allowable 30% impervious surface area (39% proposed); mitigation measures will need to be employed prior to any permit issuance in order to comply with the stormwater ordinance. The application indicates that the proposed lot coverage is 29.02%; this request was not made a part of the variance application and should conform to the maximum 25% lot coverage.

#### ***Subject Property and Surrounding Land Uses***

The property contains a single-family dwelling, and is surrounded by same.

#### ***Affected Regulation***

Article III, Residence A District; Section 129-34, Area and Dimensional Requirements

Article XIX, General Area and Dimensional Requirements; Section 129-314, Accessory Structures on Residential Lots

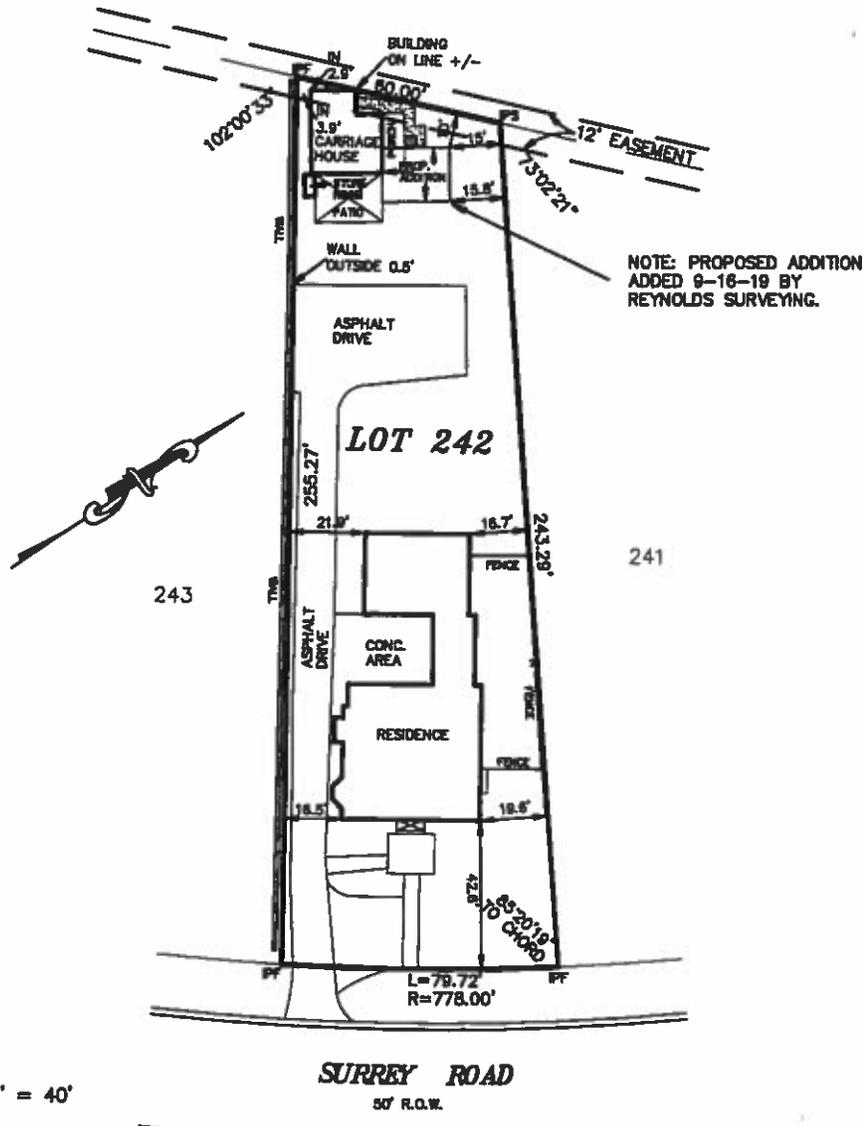
#### ***Appends***

LOCATION: 2919 Surrey Road

ZONING DISTRICT: Res-A

OWNERS: Rob and Eleanor Nielson

REYNOLDS SURVEYING CO., INC.  
Surveying - Land Planning



SCALE: 1" = 40'

- ASPHALT DRIVE
- UTILITY POLE
- GUY WIRE
- REINFORCED WALL
- CONCRETE
- FENCE
- OVERHEAD ELECTRICAL
- HIGH PVI POINT
- HIGH PVI SET

STATE OF ALABAMA  
JEFFERSON COUNTY

"CLOSING SURVEY"



I, Robert Reynolds, a Registered Surveyor, do here by state that this is a true and correct plat or map of Lot 242, Block ---, of MOUNTAIN BROOK ESTATES, FAIRWAY SECTOR, as recorded in Map Book 18, Page 47 in the Office of the Judge Of Probate in Jefferson County, Alabama. All parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice of Surveying in the State of Alabama to the best of my knowledge, information and belief. The improvements on said premises are as shown. There are no visible encroachments on over or across said lands except as shown. According to my survey this the 25th day of March, 2019

NOTE: This survey is not transferable to any additional institutions or subsequent owners.

Purchaser: Nellson  
Address: 2919 Surrey Road

*Robert Reynolds*  
Reg. No. 25657 B122/59-60

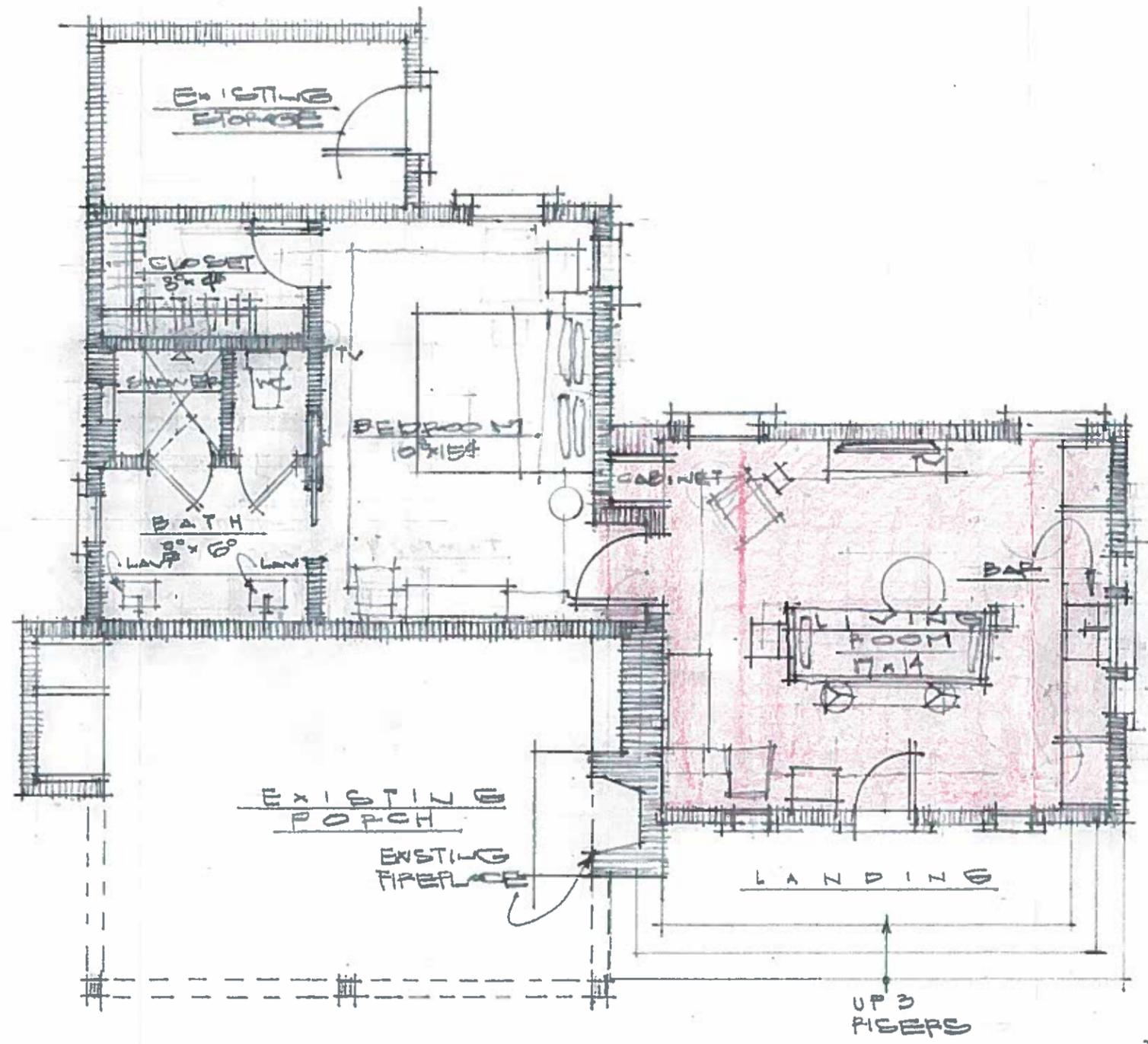
A-19-36



NIELSON-TIFLET GUEST COTTAGE

JAMES B. LAUGHLIN

JULY 1, 1919



REVISED AUG. 7

FLOOR PLAN 1/2" = 1'-0"

EXISTING HEATED	284 SQFT
ADDED HEATED	255 SQFT
TOTAL HEATED	539 SQFT

JULY 1, 2019

NIELSON - KIBLER GUEST COTTAGE

JAMES B. LAUGHLIN





## Variance Application Part II

### Required Findings (Sec. 129-455 of the Zoning Ordinance)

To aid staff in determining that the required hardship findings can be made in this particular case, please answer the following questions with regard to your request. **These findings must be made by the Board of Zoning Adjustment in order for a variance to be granted** (please attach a separate sheet if necessary).

What special circumstances or conditions, applying to the building or land in question, are peculiar to such building or land, and do not apply generally to other buildings or land in the vicinity (including size, shape, topography, location or surroundings)?

THE REAR PROPERTY LINE IS CALLED THUS  
LIMITING BUILDABLE AREA. THE 255 SQFT PROPOSED  
ADDITION RESPONDS DIRECTLY TO THAT ANGLE.

ALL NON-CONFORMING PARTS ARE EXISTING. PROPOSED  
ADDITION IS 10 FT FROM THE REAR PROPERTY  
LINE. TOTAL SQFT IS 539.

Was the condition from which relief is sought a result of action by the applicant? (i.e., *self-imposed hardship* such as: "...converted existing garage to living space and am now seeking a variance to construct a new garage in a required setback...")

NO.

How would the granting of this variance be consistent with the purpose and intent of the Zoning Regulations?

ADDED PARTS WOULD COMPLY TO THE 10 FT  
SETBACK EXCEPTION BECAUSE IT IS UNDER  
625 SQFT. TOTAL. THE GRANTING OF THIS VARIANCE  
WOULD CERTAINLY FURTHER PROMOTE SAFETY  
AS THE EXISTING PARTS WILL BE BROUGHT UP TO CODE.  
IT WILL ALSO NOT EXCEED THE 625 SQFT MAXIMUM  
HEATED AREA MAX.



## Variance Application - Part I

### Project Data

Address of Subject Property 201 Dexter Ave.

Zoning Classification Residence C, nonconforming

Name of Property Owner(s) Bundi Reynolds

Phone Number 205-907-7833 Email reyn7833@bellsouth.net

Name of Surveyor Engineering Design Group

Phone Number 205-403-9158 Email rkins@edgalabama.com

Name of Architect (if applicable) Twin Interiors, LLC

Phone Number 205-802-3920 Email crystal@twincompanies.com

Property owner or representative agent must be present at hearing

Please **fill in only applicable** project information (relating directly to the variance request(s):

	Zoning Code Requirement	Existing Development	Proposed Development
Lot Area (sf)	N/A	8625 #	8625 #
Lot Width (ft)	< 70	57.5'	57.5'
Front Setback (ft) <i>primary</i>	35'	35'	35'
Front Setback (ft) <i>secondary</i>	13'/17'	16.6'	13'/15'
Right Side Setback			
Left Side Setback			
Right Side Setback (ft): For non-conforming narrow lots in Res-B or Res-C: Less than 22' high → 22' high or greater →			
Left Side Setback (ft): For non-conforming narrow lots in Res-B or Res-C: Less than 22' high → 22' high or greater →	8'/12'	8.1'	8'/12'
Rear Setback (ft)	30'	55'	25'
Lot Coverage (%)			
Building Height (ft)			
Other			
Other			

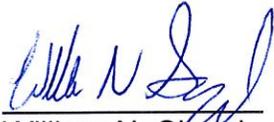


Bundi Reynolds  
201 Dexter Avenue  
Mt. Brook, Alabama 35213

10.01.19

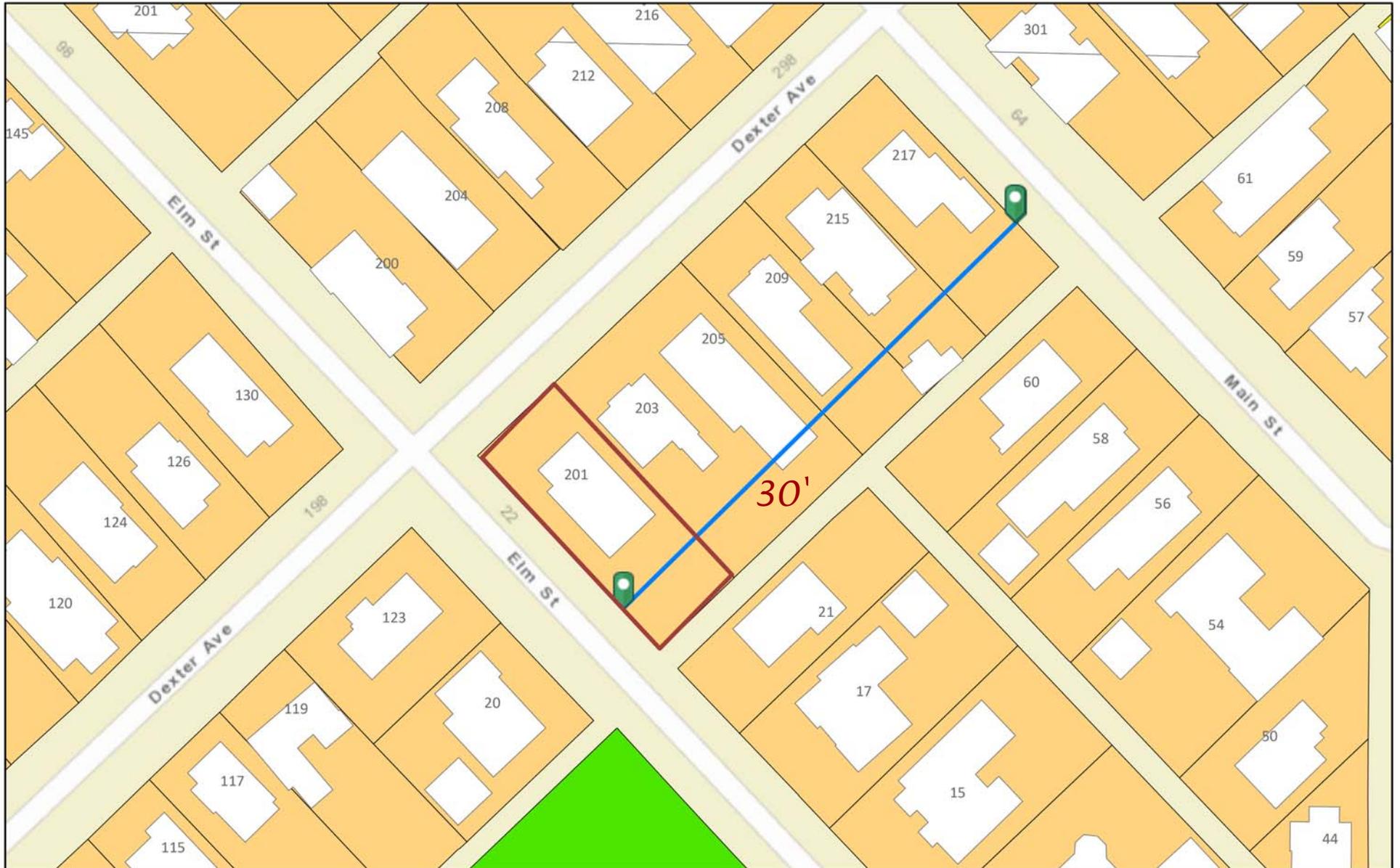
**Scope of Work – New Construction**

Existing home will be removed and new home will be built per plans.



William N. Siegel  
Twin Construction

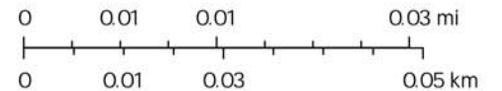
# A-19-37 Zoning



10/14/2019, 5:56:14 PM

- Tax\_Parcels
-  Residence C District
  -  Residence B District
  -  Recreation District

1:1,128



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan,

Web AppBuilder for ArcGIS  
Hunter Simmons | Esri, HERE, Garmin, INCREMENT P, NGA, USGS |

## Report to the Board of Zoning Adjustment

### A-19-37

#### ***Petition Summary***

Request to allow a new single family dwelling to be 25 feet from the rear property line (southeast) in lieu of the required 30 feet, and for two second floor dormer windows to be 15 feet from the secondary front property line (Elm Street) in lieu of the required 17 feet.

#### ***Analysis***

The hardships in this case are the lot width (57.5 feet in lieu of 70 feet), and the corner lot configuration. Given the hardships the proposal generally meets the intent of the zoning regulations. Also, it should be noted that the entire allowable buildable area is not proposed to be covered.

#### ***Impervious Area***

The proposal is in compliance with the allowable impervious surface area.

#### ***Subject Property and Surrounding Land Uses***

The property contains a single-family dwelling, and is surrounded by same.

#### ***Affected Regulation***

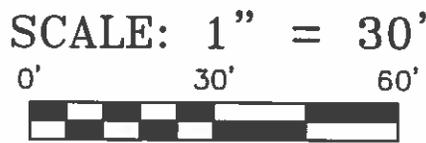
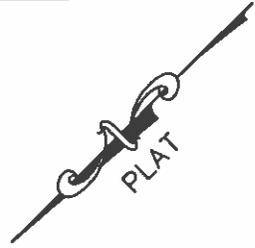
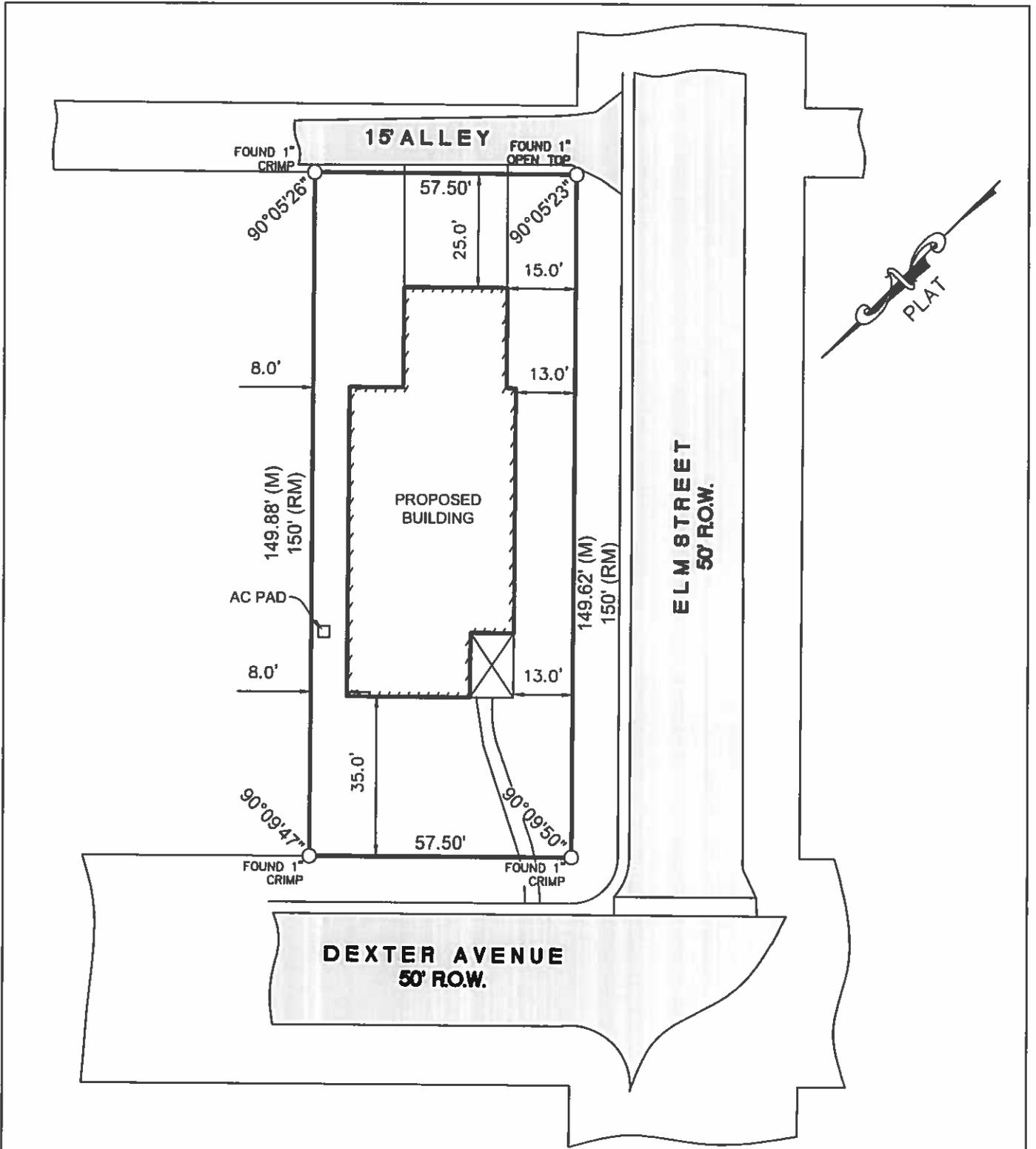
Article V, Residence C District; Section 129-63, Special Provisions for Nonconforming Residence C Lots

#### ***Appends***

LOCATION: 201 Dexter Avenue

ZONING DISTRICT: Res-C

OWNER: Bundi Reynolds



LEGEND	
(M)	MEASURED
(RM)	RECORD MAP
- x -	WOOD FENCE
[Pattern]	ASPHALT
[Pattern]	CONCRETE

DESCRIPTION

LOT 6, BLOCK 23 OF CRESTLINE HEIGHTS AS RECORDED IN MAP BOOK 7 PAGE 16 IN THE OFFICE OF THE JUDGE OF PROBATE IN JEFFERSON COUNTY, ALABAMA.

I hereby certify that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information, and belief.

Surveyor's Signature: *[Signature]*  
 Alabama License Number 26013, Date: September 13, 2019



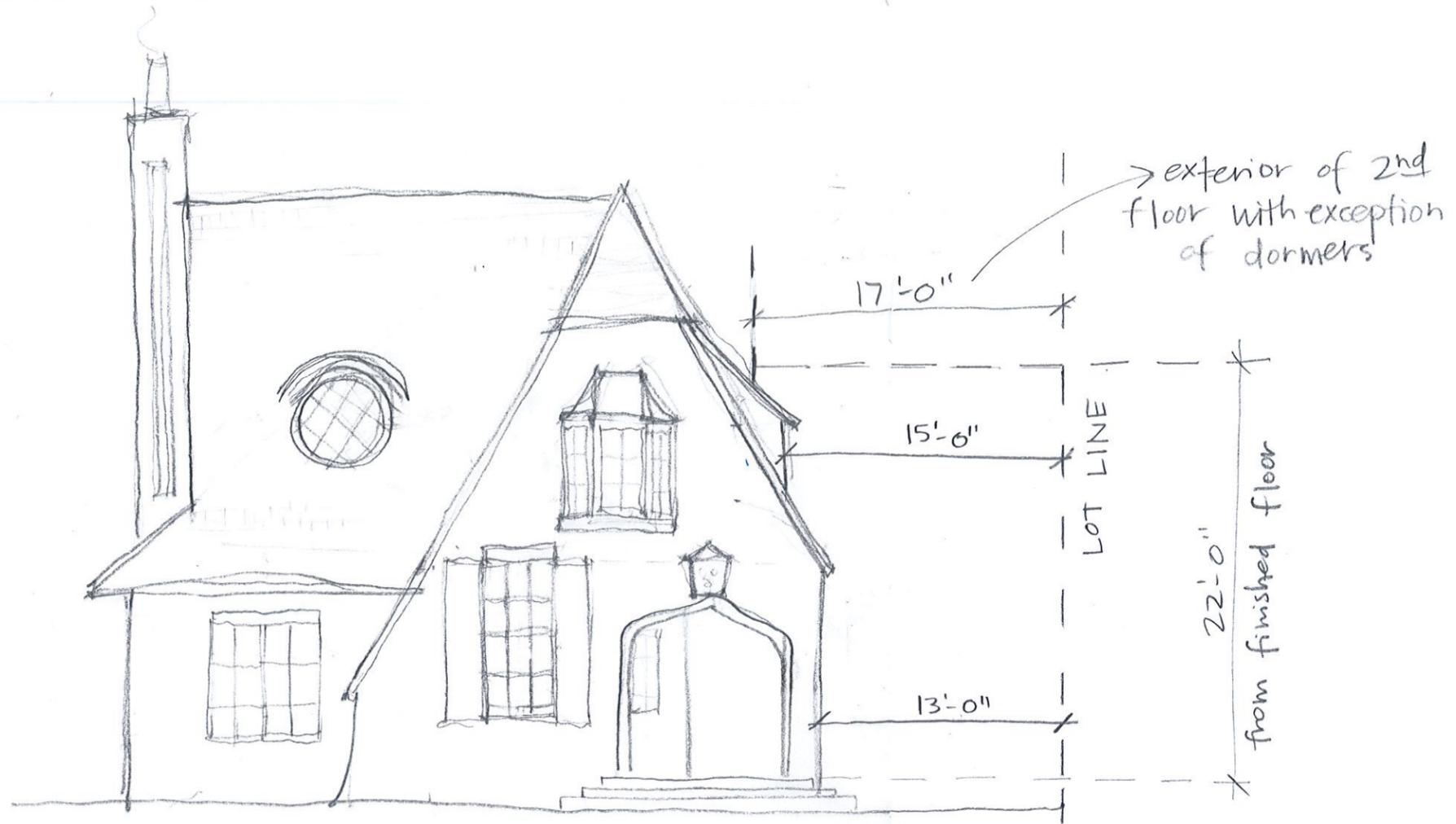
- NOTE:
- North arrow based on Plat.
  - Survey not valid without original signature.

Address: 201 Dexter Avenue  
 Date of Fieldwork: 2019-09-05  
 Date of Survey: 2019-09-11  
 Job Number: REYN0001  
 Drawn By: MBA  
 Survey For: Reynolds  
 Type of Survey: Site Plan

120 BISHOP CIRCLE, SUITE 300  
 PELHAM, AL 35124  
 TEL - (205) 403-9158  
 FAX - (205) 403-9175



DEXTER  
ELEVATION



ELM  
ELEVATION



REYNOLDS

PROJECT ADDRESS

201 Dexter Ave.  
Mountain Brook, AL  
35213

Twin Companies

2907 Central Ave.  
Suite 105  
Homewood, AL 35209



CHANGE LOG :

Description:

Date:

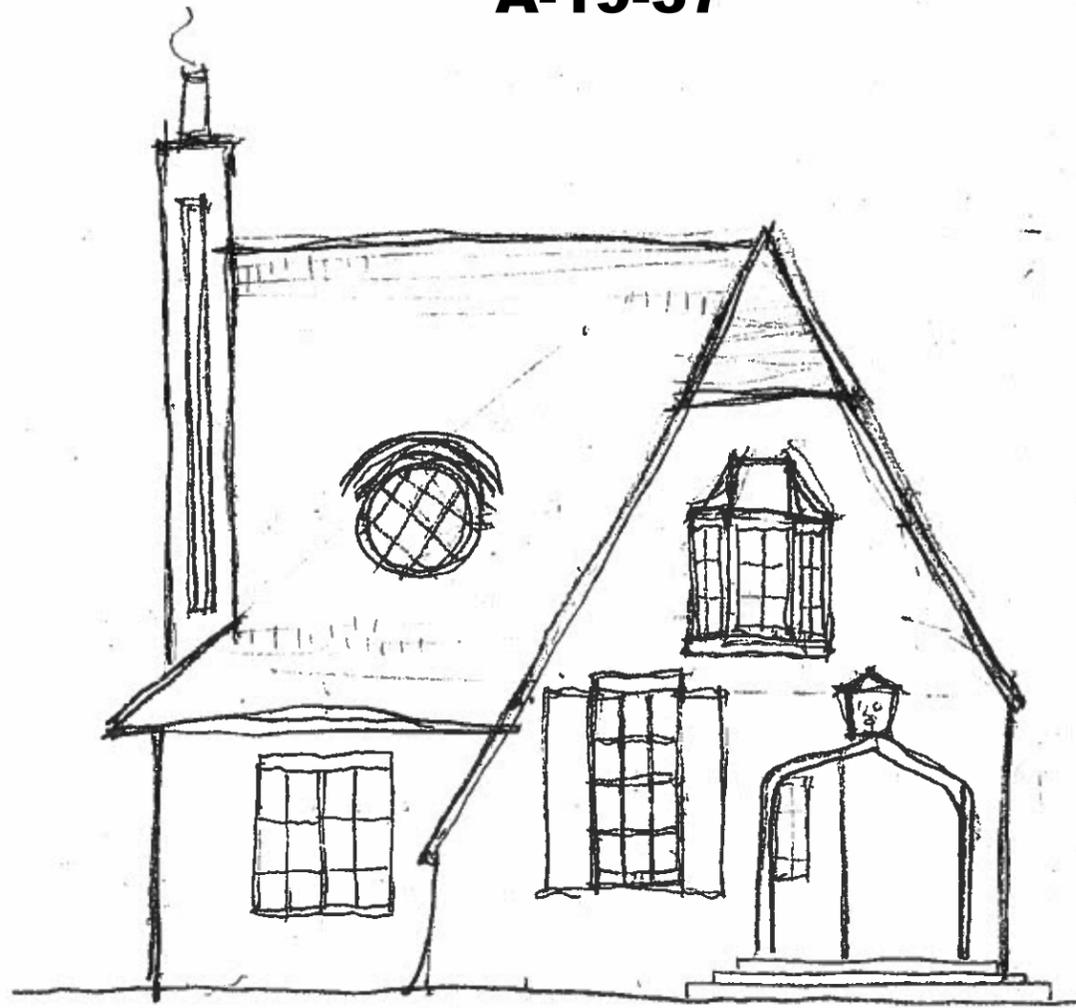
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x	x	x	x	x
x	x	x	x	x
x	x	x	x	x

PLAN CONTACT : Crystal Tucker  
PHONE : 205.832.2920

SHEET INDEX

SHEET NUMBER

DEXTER  
ELEVATION



ELM  
ELEVATION



REYNOLDS

PROJECT ADDRESS

201 Dexter Ave.  
Mountain Brook, AL  
35213

Twin Companies

2907 Central Ave.  
Suite 105  
Homewood, AL 35209



CHANGE LOG :

Description:

x x x x x x

Date:

x x x x x x

PLAN CONTACT : Crystal Taylor  
PHONE : 205.843.1000

SHEET INDEX

SHEET NUMBER

REYNOLDS

PROJECT ADDRESS

201 Dexter Ave.  
Mountain Brook, AL  
35213

Twin Companies

2907 Central Ave.  
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Homewood, AL 35209

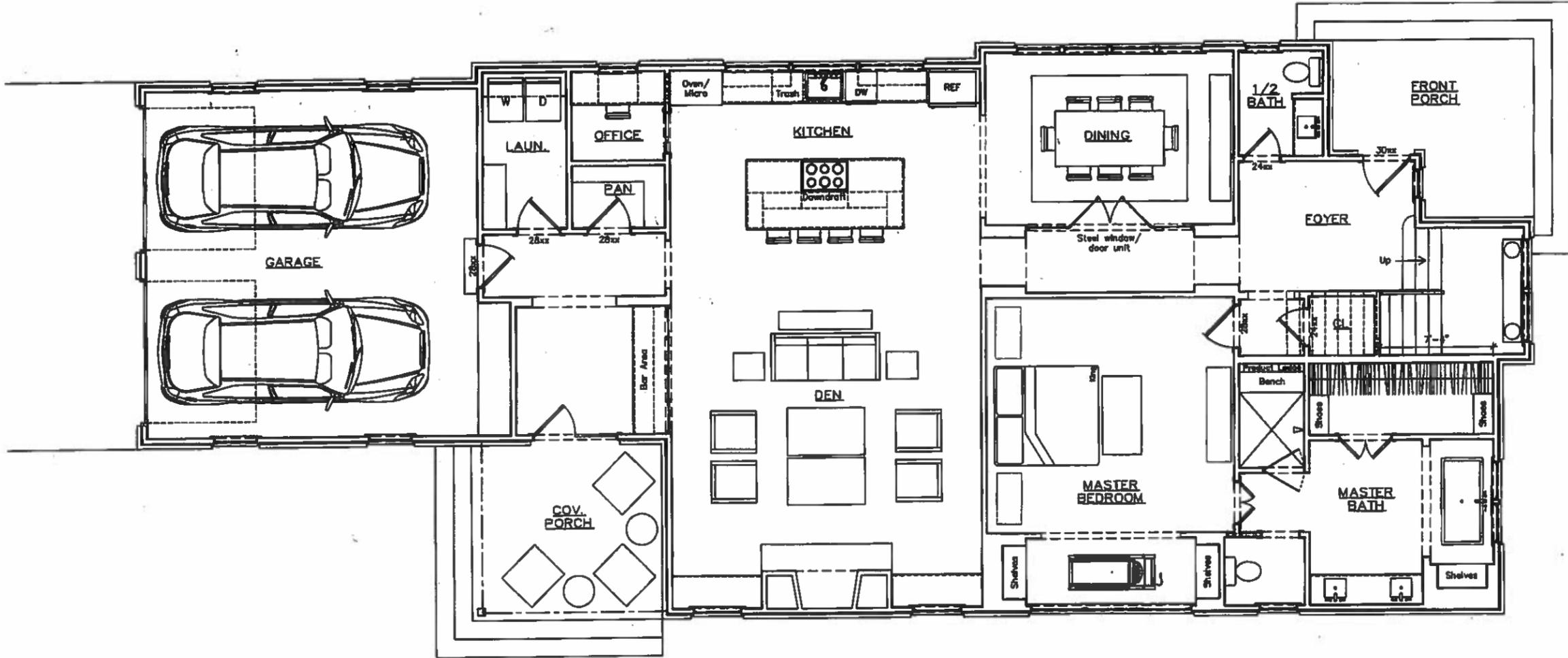


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x	x

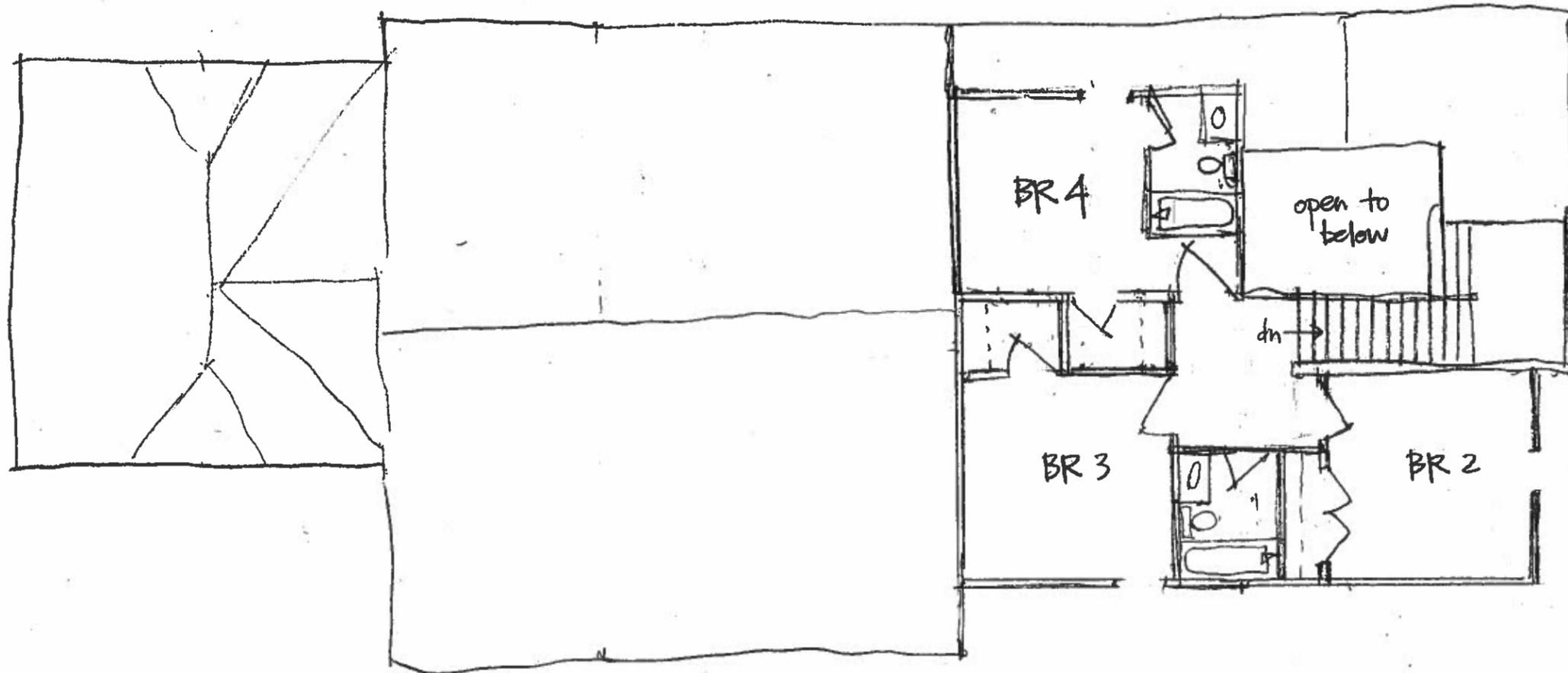
SHEET INDEX

SHEET NUMBER



Main Level Floor Plan

SCALE : 1/4" = 1'-0"



• 2ND LEVEL FLOOR PLAN.

Scale: 1/4" = 1'-0"

REYNOLDS

PROJECT ADDRESS

201 Dexter Ave.  
Mountain Brook, AL  
35213

Twin Companies

2907 Central Ave.  
Suite 105  
Homewood, AL 35209



CHANGE LOG :

Date	Description
x	x
x	x
x	x
x	x

PLAN CONTACT: Crystal Taylor  
PHONE: 205.938.1233

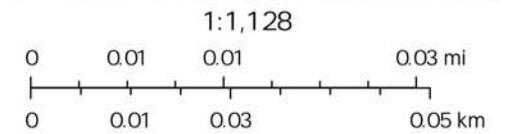
SHEET INDEX

SHEET NUMBER

# A-19-37 Aerial



10/14/2019, 6:00:53 PM



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus

Web AppBuilder for ArcGIS  
Hunter Simmons | Shelby Co GIS/ALDOT/USGS, DigitalGlobe, Microsoft |



## Variance Application Part II

### Required Findings (Sec. 129-455 of the Zoning Ordinance)

To aid staff in determining that the required hardship findings can be made in this particular case, please answer the following questions with regard to your request. **These findings must be made by the Board of Zoning Adjustment in order for a variance to be granted** (please attach a separate sheet if necessary).

What special circumstances or conditions, applying to the building or land in question, are peculiar to such building or land, and do not apply generally to other buildings or land in the vicinity (including size, shape, topography, location or surroundings)?

\_\_\_\_\_ This is a narrow, corner lot which  
\_\_\_\_\_ limits the buildable area.  
\_\_\_\_\_  
\_\_\_\_\_

Was the condition from which relief is sought a result of action by the applicant? (i.e., *self-imposed hardship* such as: "...converted existing garage to living space and am now seeking a variance to construct a new garage in a required setback...")

\_\_\_\_\_ NO \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

How would the granting of this variance be consistent with the purpose and intent of the Zoning Regulations?

\_\_\_\_\_ The rear variance will allow a connected garage for a senior citizen living alone.  
\_\_\_\_\_ The 2' variance on the 2nd floor secondary front will keep the dormer  
\_\_\_\_\_ windows from being sunken into the roof.  
\_\_\_\_\_  
\_\_\_\_\_



## Variance Application - Part I

### Project Data

Address of Subject Property 104 PINE RIDGE CIRCLE

Zoning Classification Res-A

Name of Property Owner(s) ROBERT & MARTHA HALET

Phone Number 980-229-3395 Email ROBERTHALET@MAC.COM

Name of Surveyor WELFAND

Phone Number 205-942-0080 Email LILIAN@WELFANDSURVEYOR.COM

Name of Architect (if applicable) \_\_\_\_\_

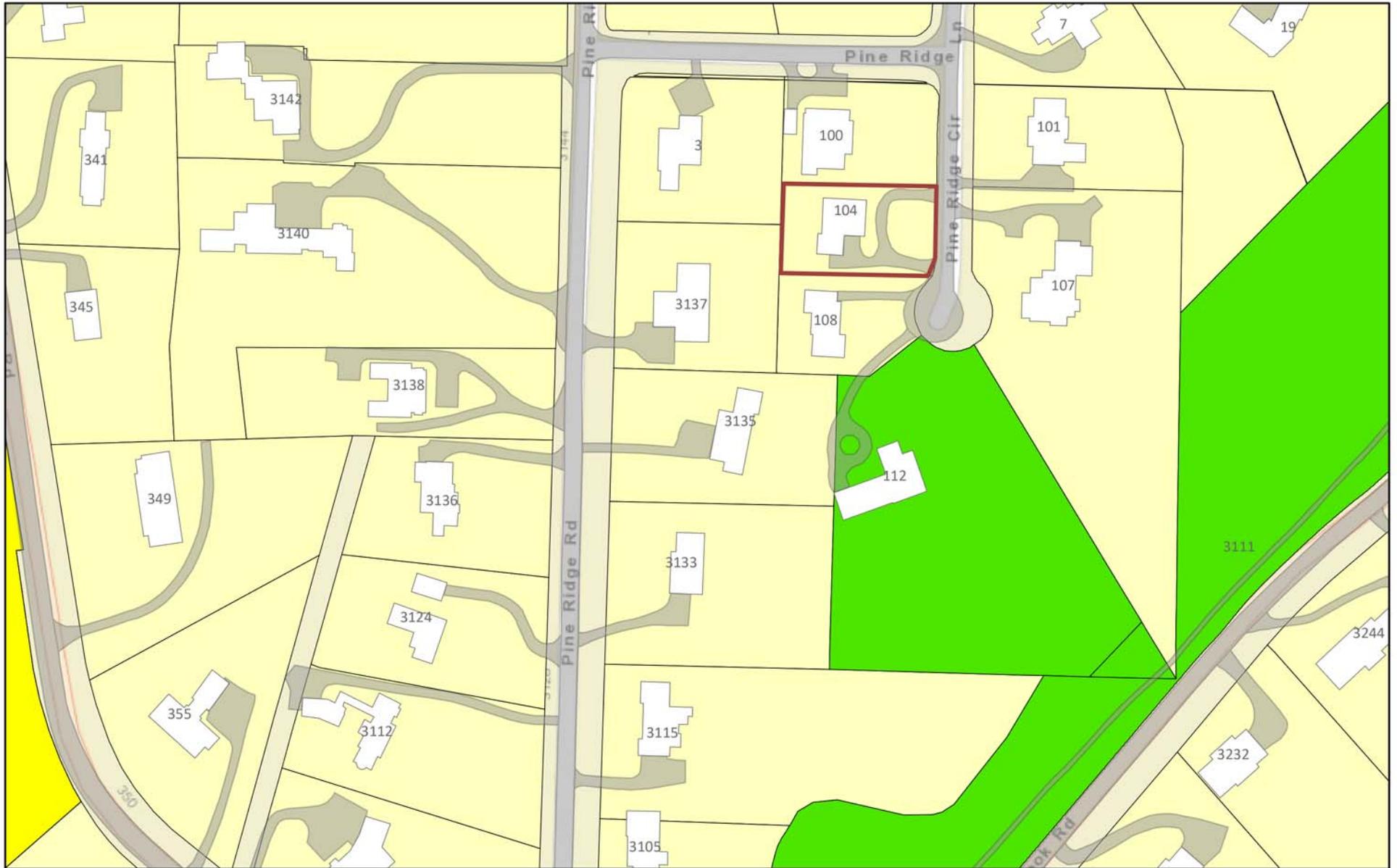
Phone Number \_\_\_\_\_ Email \_\_\_\_\_

Property owner or representative agent must be present at hearing

Please fill in only applicable project information (relating directly to the variance request(s):

	Zoning Code Requirement	Existing Development	Proposed Development
Lot Area (sf)			
Lot Width (ft)			
Front Setback (ft) <i>primary</i>			
Front Setback (ft) <i>secondary</i>			
Right Side Setback			
Left Side Setback			
Right Side Setback (ft): For non-conforming narrow lots in Res-B or Res-C: Less than 22' high → 22' high or greater →			
Left Side Setback (ft): For non-conforming narrow lots in Res-B or Res-C: Less than 22' high → 22' high or greater →			
Rear Setback (ft)	<u>40</u>	<u>47.64</u>	<u>26.3</u>
Lot Coverage (%)			
Building Height (ft)			
Other			
Other			

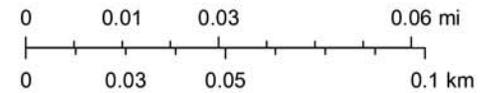
# A-19-38 Zoning



10/15/2019, 4:27:22 PM

- Pavement
- Tax\_Parcels
- Residence B District
- Residence A District
- Recreation District

1:2,257



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan,

Web AppBuilder for ArcGIS  
Hunter Simmons | Esri, HERE, Garmin, INCREMENT P, NGA, USGS |

## Report to the Board of Zoning Adjustment

### A-19-38

#### ***Petition Summary***

Request to allow a covered porch to be 26.1 feet from the rear property line in lieu of the required 40 feet.

#### ***Analysis***

The hardships in this case are the lot size (17,000 sf in lieu of 30,000) and the existing design constraints. The existing front building line is 78.6 feet from the front property line, where a minimum of 40 feet is required by the zoning code. Therefore, the house is located farther on the lot than required (although it conforms to the required rear setback of 40 feet). As may be seen on the attached zoning map, the house to the immediate north is closer to the rear property line than the proposed (perhaps its west property line was considered to be a "side" when it was built, with a 15-foot side yard requirement).

#### ***Impervious Area***

While the proposed lot coverage (max 25%) appears to be in conformance, the proposed impervious area (max 30%) appears to be approximately 1,400 sf over the allowable. Compliance with the stormwater regulations will be required in the event that the variance is approved.

#### ***Subject Property and Surrounding Land Uses***

The property contains a single-family dwelling, and is surrounded by same.

#### ***Affected Regulation***

Article III, Residence A District; Section 129-34, Area and Dimensional Requirements

#### ***Appends***

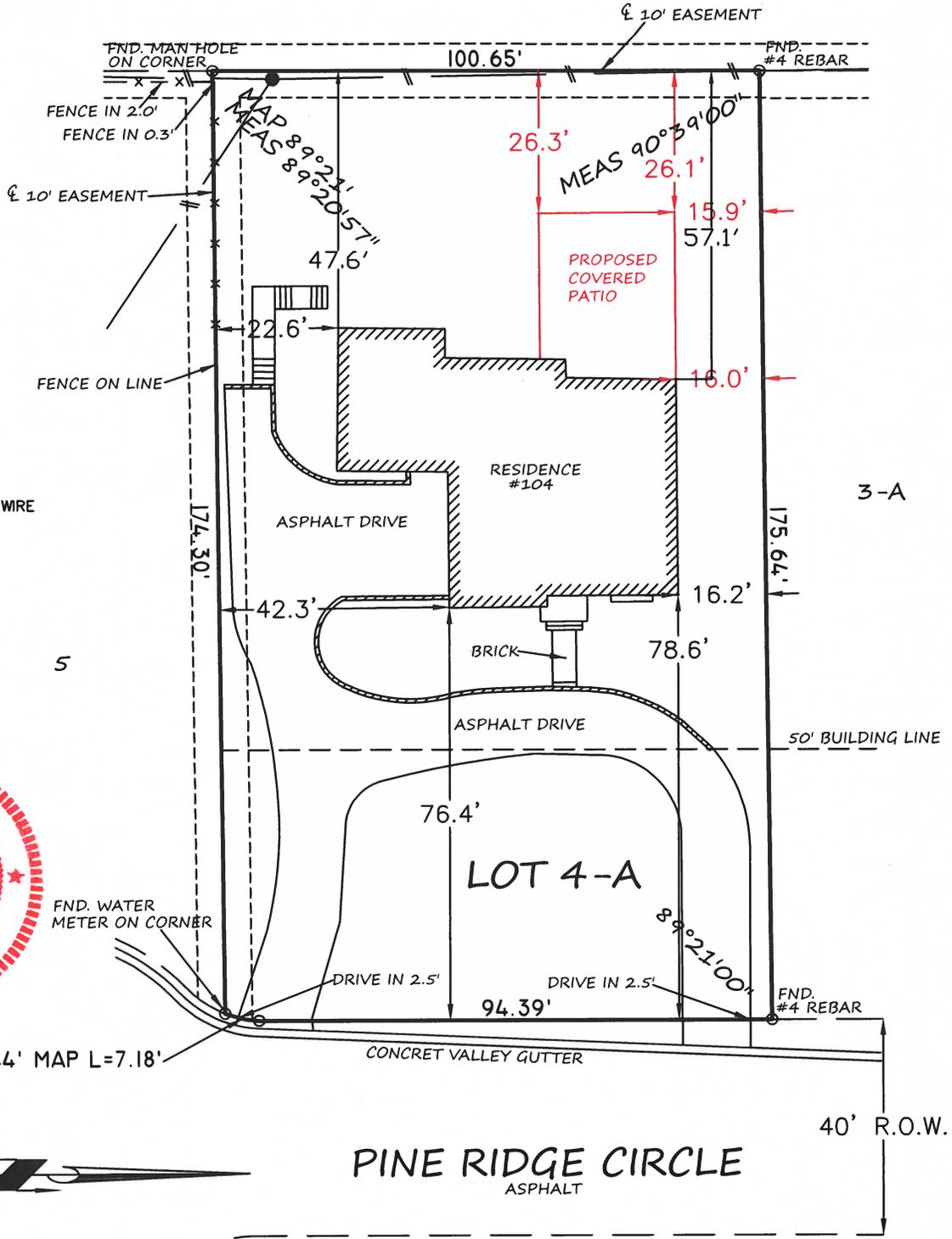
LOCATION: 104 Pine Ridge Circle

ZONING DISTRICT: Res-A

OWNERS: Robert and Martha Haley

**LEGEND**

ASP	ASPHALT
BLDG	BUILDING
CALC	CALCULATED
MEAS	MEASURED
CH	CHORD
LNG	LONG CHORD
d	DEFLECTION
Δ	DELTA
ESMT	EASEMENT
HW	HEADWALL
MIN	MINIMUM
MH	MANHOLE
OH	OVERHANG
POR	PORCH
R	RADIUS
R.O.W.	RIGHT OF WAY
SAN	SANITARY
STM	STORM
UTIL	UTILITY
AC	ACRES
S.F.	SQUARE FEET
℄	CENTERLINE
A/C	AIR CONDITIONER
°	POLE
—	ANCHOR
-X-	FENCE
—X—	OVERHEAD UTILITY WIRE
PVMT	PAVEMENT
W/	WITH
TAN	TANGENT
RES	RESIDENCE
oLGT	LIGHT
COV	COVERED
▨	DECK
⊙	CONCRETE
▨	WALL
□	COLUMN



MEAS L=6.44' MAP L=7.18'  
 R=20.00'  
 D=18°27'18"  
 CH=6.41'

SCALE: 1"=30'  
 STATE OF ALABAMA  
 JEFFERSON COUNTY

**PINE RIDGE CIRCLE**  
 ASPHALT

"PLOT PLAN"

I, Ray Weygand, a Registered Land Surveyor, hereby certify to the purchaser of this property at this time, that I have surveyed Lot 4-A, RESURVEY OF LOTS 3 AND 4 PINE RIDGE CIRCLE, as recorded in Map Volume 52, Page 88, in the Office of the Judge of Probate, Jefferson County, Alabama. I hereby state that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information and belief; according to my survey of OCTOBER 3, 2019. Survey invalid if not sealed in red.

Order No.: 4001  
 Purchaser:  
 Address: 104 PINE RIDGE CIRCLE

*Ray Weygand*

Ray Weygand, Reg. L.S. #24973  
 169 Oxmoor Road Homewood, AL 35209  
 Phone: (205) 942-0086 Fax: (205) 942-0087  
 Copyright ©

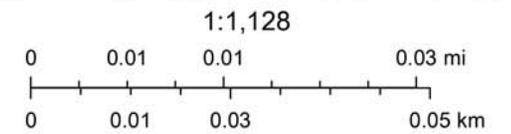


Note: (a) No title search of the public records has been performed by this firm and land shown hereon was not abstracted for easements and/or rights-of-way, recorded or unrecorded. The parcel shown hereon is subject to setbacks, easements, zoning, and restrictions that may be found in the public records of said county and/or city. (b) All bearings and/or angles, are deed/record map and actual unless otherwise noted. (c) Underground portions of foundations, footings, and/or other underground structures, utilities, cemeteries or burial sites were not located unless otherwise noted. (d) The shown north arrow is based on deed/record map. (e) This survey is not transferable. (f) Easements not shown on recorded map are not shown above.

# A-19-38 Aerial



10/15/2019, 4:20:38 PM



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus

Web AppBuilder for ArcGIS  
Hunter Simmons | Shelby Co GIS/ALDOT/USGS, DigitalGlobe, Microsoft |



## Variance Application Part II

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What special circumstances or conditions, applying to the building or land in question, are peculiar to such building or land, and do not apply generally to other buildings or land in the vicinity (including size, shape, topography, location or surroundings)?

DEAR SETBACK FOR COVERING EXISTING PATIO

Was the condition from which relief is sought a result of action by the applicant? (i.e., *self-imposed hardship* such as: "...converted existing garage to living space and am now seeking a variance to construct a new garage in a required setback...")

SEEKING A VARIANCE TO COVER AN EXISTING BRICK PATIO ON THE DEAR SIDE OF THE PROPERTY, IN LINE WITH THE EXISTING HOUSE

How would the granting of this variance be consistent with the purpose and intent of the Zoning Regulations?