

**SURVEYOR'S NOTES:**

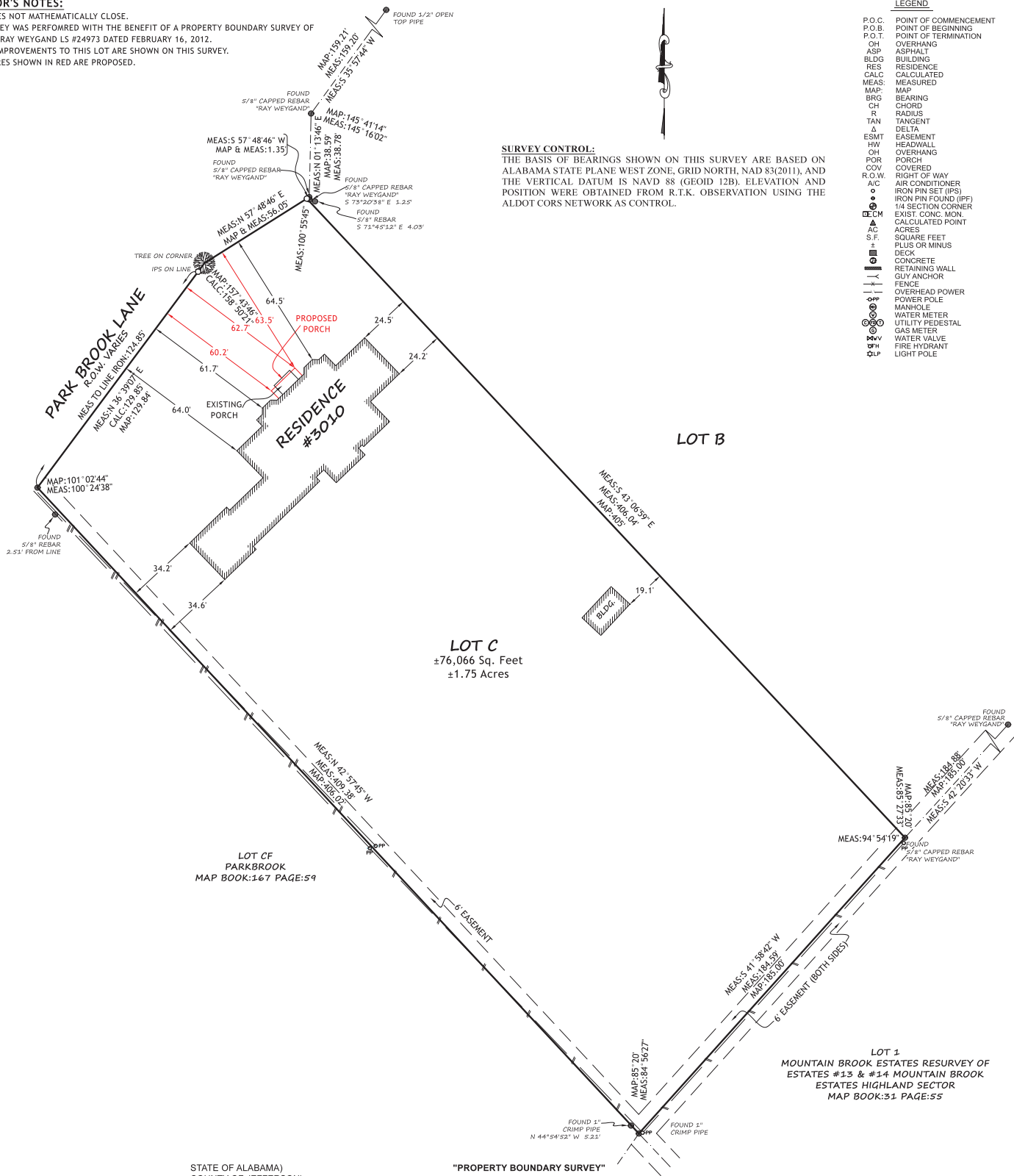
- LOT C DOES NOT MATHEMATICALLY CLOSE.
- THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF A PROPERTY BOUNDARY SURVEY OF LOT C BY RAY WEYGAND LS #24973 DATED FEBRUARY 16, 2012.
- NOT ALL IMPROVEMENTS TO THIS LOT ARE SHOWN ON THIS SURVEY.
- THE FIGURES SHOWN IN RED ARE PROPOSED.

**LEGEND**

P.O.C.	POINT OF COMMENCEMENT
P.O.B.	POINT OF BEGINNING
P.O.T.	POINT OF TERMINATION
OH	OVERHANG
ASP	ASPHALT
BLDG	BUILDING
RES	RESIDENCE
CALC	CALCULATED
MEAS	MEASURED
MAP	MAP
BRG	BEARING
CH	CHORD
R	RADIUS
TAN	TANGENT
DELTA	DELTA
ESMT	EASEMENT
HW	HEADWALL
OH	OVERHANG
POR	PORCH
COV	COVERED
COV	COVERED
R.O.W.	RIGHT OF WAY
A/C	AIR CONDITIONER
IP	IRON PIN SET (IPS)
IPF	IRON PIN FOUND (IPF)
1/4	1/4 SECTION CORNER
EX	EXIST. CONC. MON.
MON.	CALCULATED POINT
+	PLUS OR MINUS
S.F.	SQUARE FEET
+	PLUS OR MINUS
DECK	DECK
CONCRETE	CONCRETE
RETAINING WALL	RETAINING WALL
GLY ANCHOR	GLY ANCHOR
FENCE	FENCE
OVERHEAD POWER	OVERHEAD POWER
POWER POLE	POWER POLE
MANHOLE	MANHOLE
WATER METER	WATER METER
UTILITY PEDESTAL	UTILITY PEDESTAL
GAS METER	GAS METER
WATER VALVE	WATER VALVE
FIRE HYDRANT	FIRE HYDRANT
LIGHT POLE	LIGHT POLE

**SURVEY CONTROL:**

THE BASIS OF BEARINGS SHOWN ON THIS SURVEY ARE BASED ON ALABAMA STATE PLANE WEST ZONE, GRID NORTH, NAD 83(2011), AND THE VERTICAL DATUM IS NAVD 88 (GEOID 12B). ELEVATION AND POSITION WERE OBTAINED FROM R.T.K. OBSERVATION USING THE ALDOT CORS NETWORK AS CONTROL.



STATE OF ALABAMA  
COUNTY OF JEFFERSON

**"PROPERTY BOUNDARY SURVEY"**

I, Thomas Scott Dreher, a Registered Land Surveyor, hereby certify to the purchaser of this property at this time, that I have surveyed Lot C, of A RESURVEY OF LOT 5 OF A RESURVEY OF ESTATES NUMBER 13 & 14 OF HIGHLAND SECTOR OF MOUNTAIN BROOK ESTATES, AS RECORDED IN MAP BOOK 31, PAGE 55, IN THE PROBATE OFFICE OF JEFFERSON COUNTY, ALABAMA, as recorded in Map Volume 32, Page 38, in the Office of the Judge of Probate, Jefferson County, Alabama. I hereby state that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information and belief; according to my survey of MARCH 21, 2024. Survey invalid if not signed and sealed.

BY: *Thomas Scott Dreher* Date: MARCH 22, 2024

Order No.: 20240169  
Purchaser:  
Address: 3010 PARK BROOK ROAD

Thomas Scott Dreher, PLS AL 50407  
173 Oxmoor Road  
Homewood, AL 35209  
(205) 942-0086



Notes: (a) No title search of the public records has been performed by this firm, and land shown hereon was not abstracted for easements and/or rights-of-way, recorded or unrecorded. The parcel shown hereon is subject to setbacks, easements, zoning, and restrictions that may be found in the public records of said county and/or city. (b) All bearings and/or angles are deed/record map unless otherwise noted in such form as Measured (Deed). (c) Underground portions of foundations, footings, and/or other underground structures, utilities, cemeteries or burial sites were not located unless otherwise noted. (d) This survey is not transferable. (e) Easements not shown on recorded map are not shown above. (f) All iron pins set by this firm are 1/2" rebar with a orange cap inscribed WEYGAND CA50309 and shall not be removed.

		<b>WEYGAND</b>	
SCALE: 1" = 30'	APPROVED BY: Thomas Scott Dreher PLS AL REG. NO. 50407	DATE OF SURVEY: 03/21/2024	SURVEYED BY: JTD / DRAWN BY: TSD
		Job #: 20240169	

